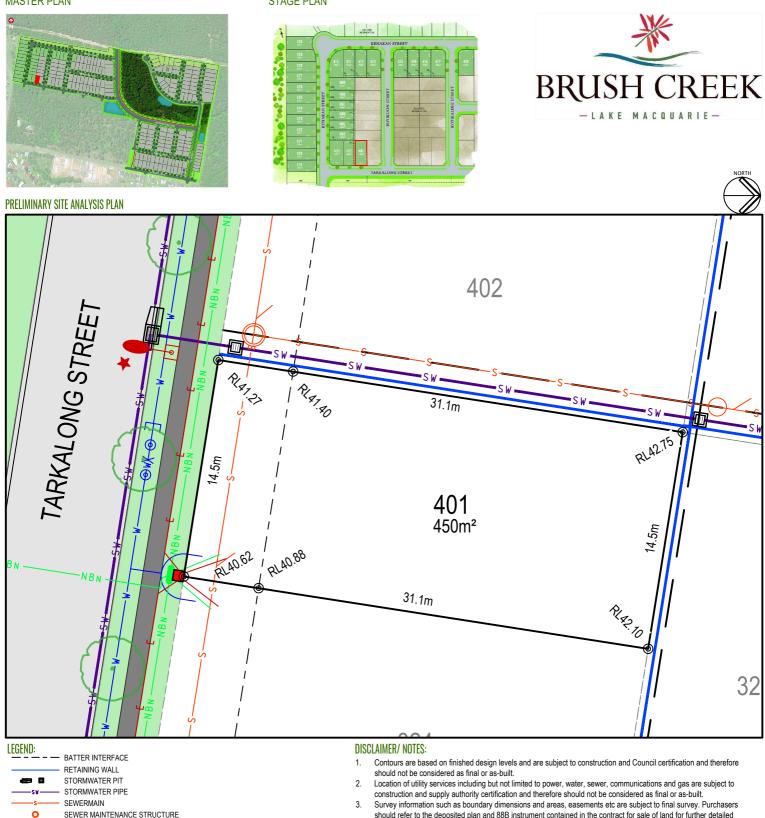
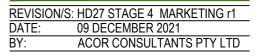
### LOT 401, TARKALONG STREET, EDGEWORTH

#### MASTER PLAN

STAGE PLAN



- should refer to the deposited plan and 88B instrument contained in the contract for sale of land for further detailed information
- Bushfire and geotechnical classification are provided for convenience. Purchasers should refer to referenced detail 4 specialist reports.
- This preliminary site analysis plan has been collated from various sources of design information and is provided for convenience to assist purchasers in obtaining quotations/ tenders for dwelling construction
- 6 This document does not form part of the contract of sale of the land
- Anticipated site classification is H2 or better (to be confirmed at completion of construction) 7.
- EASEMENT TO DRAIN WATER 2 WIDE RESTRICTION ON USE OF LAND 0.9 WIDE (L) (K)
- Ù) - EASEMENT FOR CONSTRUCTION AND MAINTENANCE 0.9 WIDE



A QUALITY MCCLOY

GROUP PROJEC



SEWER JUNCTION

HYDRANT, STOP VALVE

UNDER GROUND POWER

RESTRICTION ON THE USE OF LAND

ASSET PROTECTION ZONE BDY

WATERMAIN

TELSTRA / NBN

STREET TREES

TELSTRA / NBN PIT

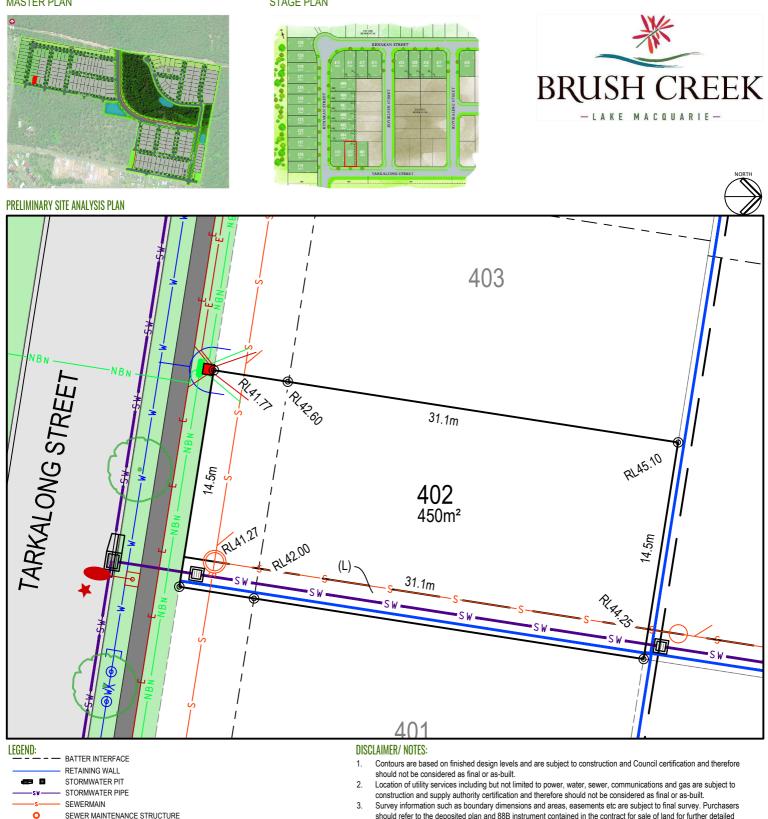
ELECTRICITY PILLAR ELECTRICAL EASEMENT LIGHT POLE

 $\circ \times$ 

### LOT 402, TARKALONG STREET, EDGEWORTH

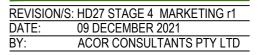


STAGE PLAN



Survey information such as boundary dimensions and areas, easements etc are subject to final survey. Purchasers should refer to the deposited plan and 88B instrument contained in the contract for sale of land for further detailed information

- Bushfire and geotechnical classification are provided for convenience. Purchasers should refer to referenced detail 4 specialist reports.
- This preliminary site analysis plan has been collated from various sources of design information and is provided for convenience to assist purchasers in obtaining quotations/ tenders for dwelling construction
- 6 This document does not form part of the contract of sale of the land
- Anticipated site classification is H2 or better (to be confirmed at completion of construction) 7.
- (L)
- EASEMENT TO DRAIN WATER 2 WIDE RESTRICTION ON USE OF LAND 0.9 WIDE (K)
- (J) - EASEMENT FOR CONSTRUCTION AND MAINTENANCE 0.9 WIDE



## brushcreek.com.au

0

 $\circ \times$ 

SEWER JUNCTION

HYDRANT, STOP VALVE

UNDER GROUND POWER

RESTRICTION ON THE USE OF LAND

ASSET PROTECTION ZONE BDY

WATERMAIN

TELSTRA / NBN

STREET TREES

TELSTRA / NBN PIT

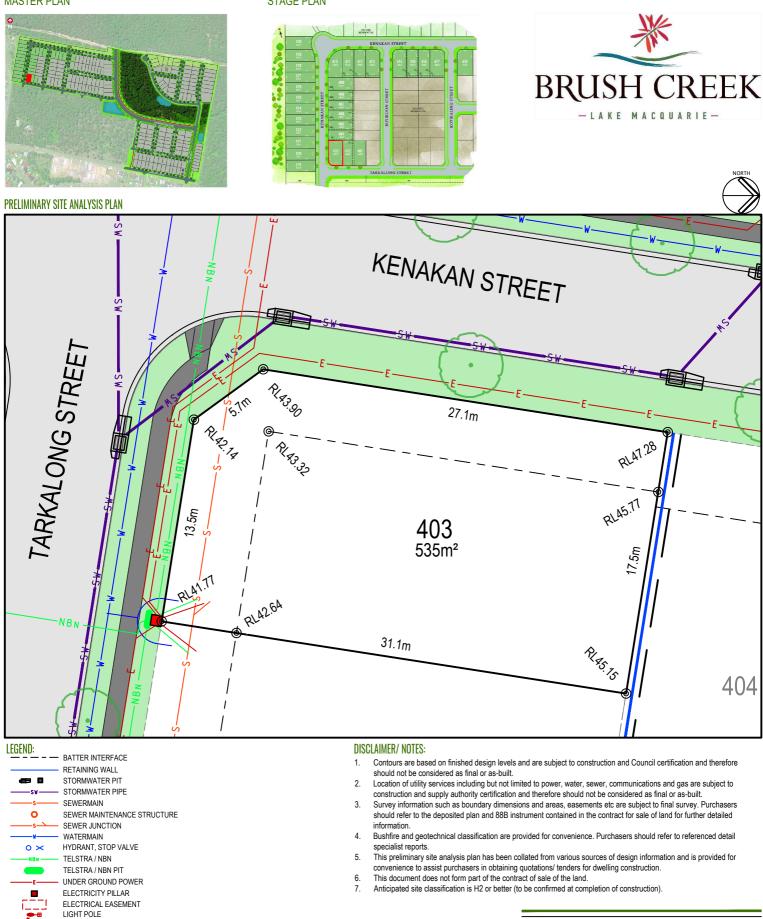
ELECTRICITY PILLAR ELECTRICAL EASEMENT LIGHT POLE



### LOT 403, TARKALONG STREET, EDGEWORTH

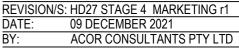
#### MASTER PLAN

STAGE PLAN



(L)

- EASEMENT TO DRAIN WATER 2 WIDE RESTRICTION ON USE OF LAND 0.9 WIDE (K)
- Ù) - EASEMENT FOR CONSTRUCTION AND MAINTENANCE 0.9 WIDE



A QUALITY MCCLOY

GROUP PROJEC

## brushcreek.com.au

RESTRICTION ON THE USE OF LAND

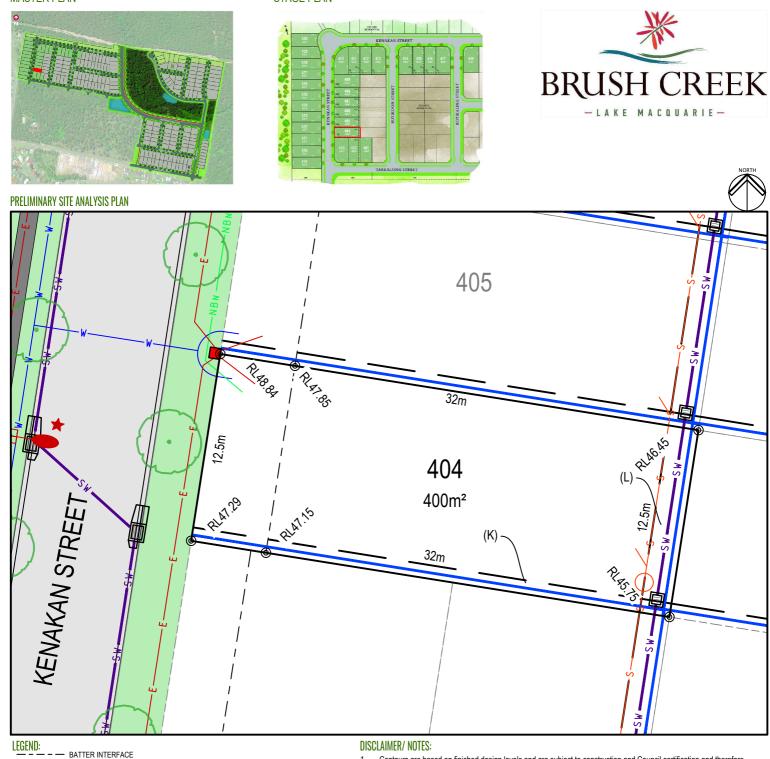
ASSET PROTECTION ZONE BDY

STREET TREES

## LOT 404, KENAKAN STREET, EDGEWORTH

#### MASTER PLAN

STAGE PLAN



STORMWATER PIT STORMWATER PIPE SEWERMAIN SEWER MAINTENANCE STRUCTURE

RESTRICTION ON THE USE OF LAND

ASSET PROTECTION ZONE BDY

0 SEWER JUNCTION

æ 0

- WATERMAIN HYDRANT, STOP VALVE o ×
- TELSTRA / NBN
- TELSTRA / NBN PIT UNDER GROUND POWER

RETAINING WALL

- ELECTRICITY PILLAR
- ELECTRICAL EASEMENT LIGHT POLE

STREET TREES

- (L)
- EASEMENT TO DRAIN WATER 2 WIDE RESTRICTION ON USE OF LAND 0.9 WIDE (K)
- (J) - EASEMENT FOR CONSTRUCTION AND MAINTENANCE 0.9 WIDE

1.

2

3

4

6

7.

information

specialist reports.

should not be considered as final or as-built.

REVISION/S: HD27 STAGE 4 MARKETING r1 DATE: 09 DECEMBER 2021 BY: ACOR CONSULTANTS PTY LTD

Contours are based on finished design levels and are subject to construction and Council certification and therefore

Location of utility services including but not limited to power, water, sewer, communications and gas are subject to

Survey information such as boundary dimensions and areas, easements etc are subject to final survey. Purchasers

should refer to the deposited plan and 88B instrument contained in the contract for sale of land for further detailed

Bushfire and geotechnical classification are provided for convenience. Purchasers should refer to referenced detail

This preliminary site analysis plan has been collated from various sources of design information and is provided for

construction and supply authority certification and therefore should not be considered as final or as-built.

convenience to assist purchasers in obtaining quotations/ tenders for dwelling construction

Anticipated site classification is H2 or better (to be confirmed at completion of construction)

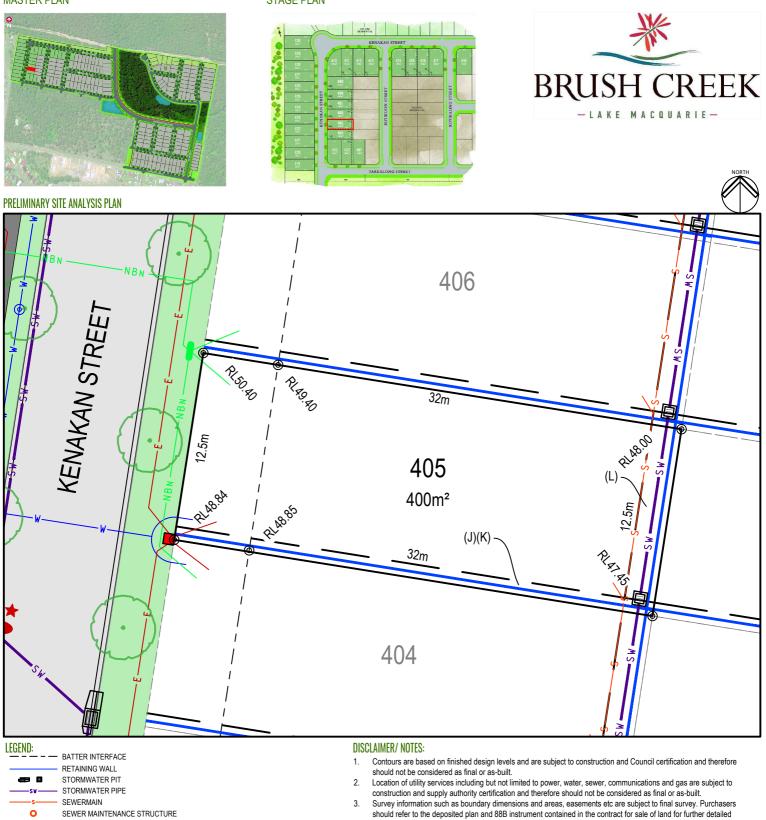
This document does not form part of the contract of sale of the land



### LOT 405, KENAKAN STREET, EDGEWORTH

#### MASTER PLAN

STAGE PLAN



- SEWER JUNCTION WATERMAIN HYDRANT, STOP VALVE o ×
- TELSTRA / NBN TELSTRA / NBN PIT
- UNDER GROUND POWER
- ELECTRICITY PILLAR
  - ELECTRICAL EASEMENT LIGHT POLE

STREET TREES

RESTRICTION ON THE USE OF LAND

ASSET PROTECTION ZONE BDY

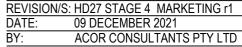
- (L) (K)
  - EASEMENT TO DRAIN WATER 2 WIDE RESTRICTION ON USE OF LAND 0.9 WIDE
  - (J) - EASEMENT FOR CONSTRUCTION AND MAINTENANCE 0.9 WIDE

4

6

information

specialist reports.



Bushfire and geotechnical classification are provided for convenience. Purchasers should refer to referenced detail

This preliminary site analysis plan has been collated from various sources of design information and is provided for

convenience to assist purchasers in obtaining quotations/ tenders for dwelling construction

Anticipated site classification is H2 or better (to be confirmed at completion of construction).

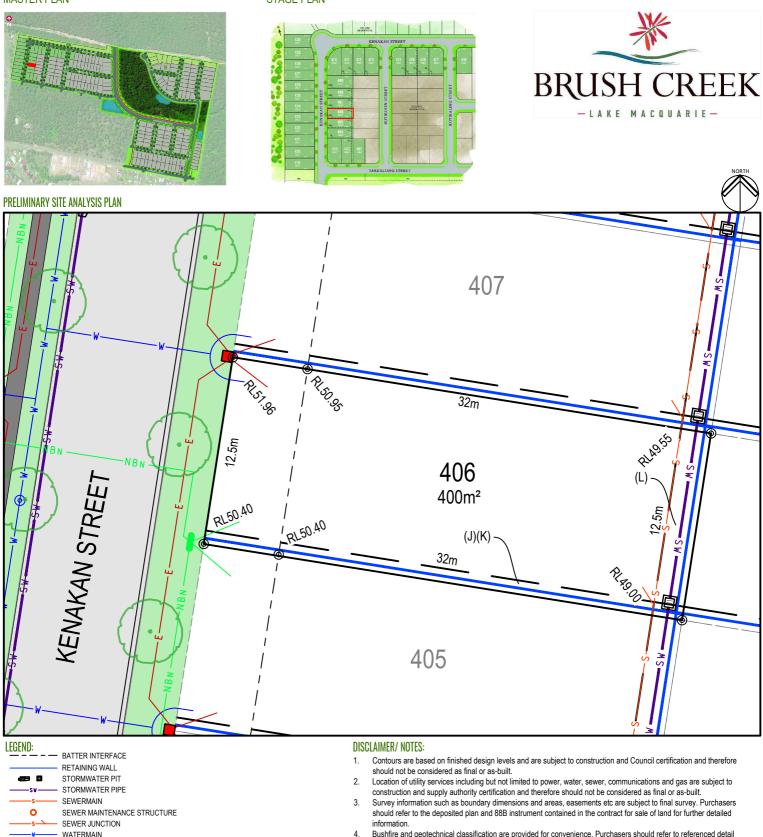
This document does not form part of the contract of sale of the land



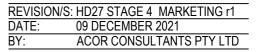
### LOT 406, KENAKAN STREET, EDGEWORTH

#### MASTER PLAN

STAGE PLAN



- Bushfire and geotechnical classification are provided for convenience. Purchasers should refer to referenced detail 4 specialist reports.
- This preliminary site analysis plan has been collated from various sources of design information and is provided for convenience to assist purchasers in obtaining quotations/ tenders for dwelling construction
- 6 This document does not form part of the contract of sale of the land
- Anticipated site classification is H2 or better (to be confirmed at completion of construction). 7.
- EASEMENT TO DRAIN WATER 2 WIDE RESTRICTION ON USE OF LAND 0.9 WIDE (L) (K)
- (J)
- EASEMENT FOR CONSTRUCTION AND MAINTENANCE 0.9 WIDE



## brushcreek.com.au

HYDRANT, STOP VALVE

UNDER GROUND POWER

RESTRICTION ON THE USE OF LAND

ASSET PROTECTION ZONE BDY

TELSTRA / NBN

STREET TREES

TELSTRA / NBN PIT

ELECTRICITY PILLAR ELECTRICAL EASEMENT LIGHT POLE

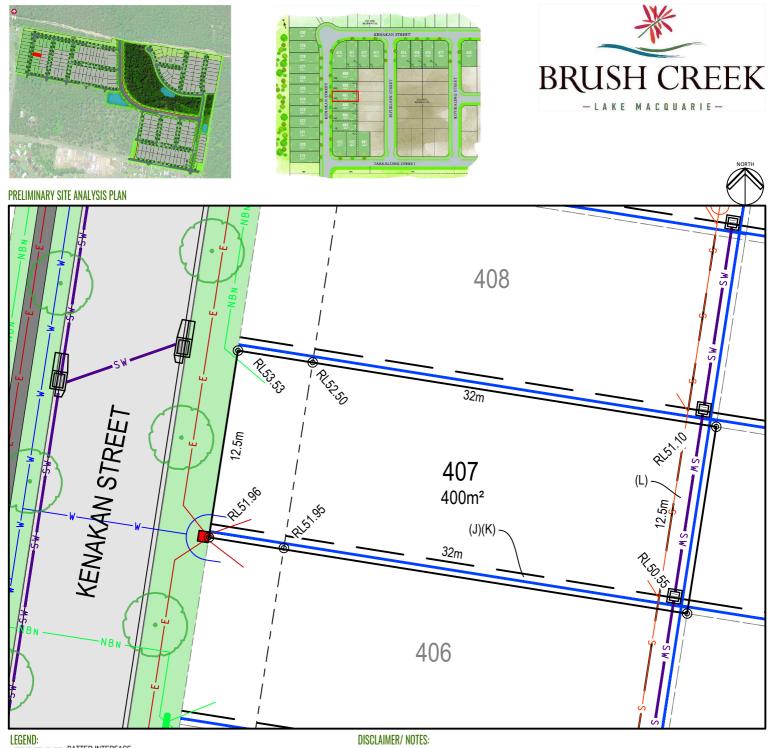
0 ×



## LOT 407, KENAKAN STREET, EDGEWORTH

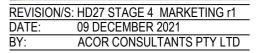
#### MASTER PLAN

STAGE PLAN



I FUENU;	
	BATTER INTERFACE
	RETAINING WALL
<b>d</b> 2 <b>0</b>	STORMWATER PIT
SW	STORMWATER PIPE
<u> </u>	SEWERMAIN
0	SEWER MAINTENANCE STRUCTURE
s	SEWER JUNCTION
v	WATERMAIN
$\circ \times$	HYDRANT, STOP VALVE
NBN	TELSTRA / NBN
	TELSTRA / NBN PIT
—Е	UNDER GROUND POWER
	ELECTRICITY PILLAR
!	ELECTRICAL EASEMENT
	LIGHT POLE
	RESTRICTION ON THE USE OF LAND
$\odot$	STREET TREES
	ASSET PROTECTION ZONE BDY

- 1. Contours are based on finished design levels and are subject to construction and Council certification and therefore should not be considered as final or as-built.
- Location of utility services including but not limited to power, water, sewer, communications and gas are subject to 2 construction and supply authority certification and therefore should not be considered as final or as-built.
- Survey information such as boundary dimensions and areas, easements etc are subject to final survey. Purchasers 3 should refer to the deposited plan and 88B instrument contained in the contract for sale of land for further detailed information
- Bushfire and geotechnical classification are provided for convenience. Purchasers should refer to referenced detail 4 specialist reports.
- This preliminary site analysis plan has been collated from various sources of design information and is provided for convenience to assist purchasers in obtaining quotations/ tenders for dwelling construction.
- 6 This document does not form part of the contract of sale of the land
- Anticipated site classification is H2 or better (to be confirmed at completion of construction). 7.
- (L) (K)
- EASEMENT TO DRAIN WATER 2 WIDE RESTRICTION ON USE OF LAND 0.9 WIDE
- Ù) - EASEMENT FOR CONSTRUCTION AND MAINTENANCE 0.9 WIDE

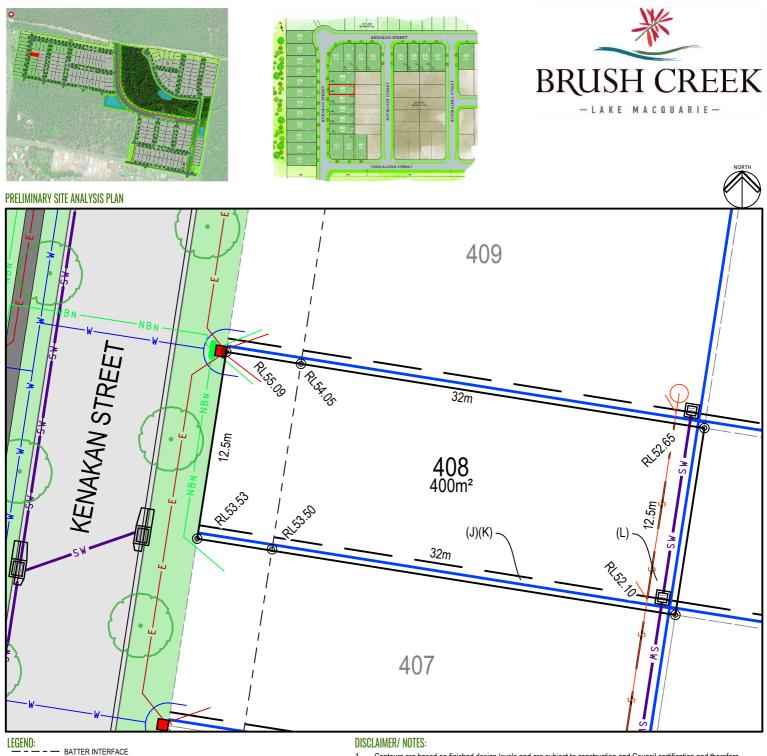




### LOT 408, KENAKAN STREET, EDGEWORTH

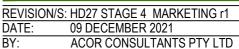
#### MASTER PLAN

STAGE PLAN



LEGEND			DIS	GLAIMER/ NUTES:
	BATTER INTERFACE     RETAINING WALL		1.	Contours are based on finished should not be considered as fin
<b>€</b> ₽ <b>0</b> ────sv───	STORMWATER PIT — STORMWATER PIPE		2.	Location of utility services inclu- construction and supply authori
s	SEWERMAIN     SEWER MAINTENANCE STRUCTURE     SEWER JUNCTION		3.	Survey information such as bou should refer to the deposited pla information.
	<ul> <li>WATERMAIN HYDRANT, STOP VALVE</li> </ul>		4.	Bushfire and geotechnical class specialist reports.
NBN	— TELSTRA / NBN TELSTRA / NBN PIT		5.	This preliminary site analysis pl convenience to assist purchase
E	- UNDER GROUND POWER		6.	This document does not form p
 	ELECTRICITY PILLAR ELECTRICAL EASEMENT LIGHT POLE		1.	Anticipated site classification is
0	RESTRICTION ON THE USE OF LAND     STREET TREES     ASSET PROTECTION ZONE BDY	(L) - EASEMENT TO DRAIN W (K) - RESTRICTION ON USE ( (J) - EASEMENT FOR CONST	OF LAND	

- Contours are based on finished design levels and are subject to construction and Council certification and therefore should not be considered as final or as-built.
- Location of utility services including but not limited to power, water, sewer, communications and gas are subject to construction and supply authority certification and therefore should not be considered as final or as-built.
- Survey information such as boundary dimensions and areas, easements etc are subject to final survey. Purchasers
  should refer to the deposited plan and 88B instrument contained in the contract for sale of land for further detailed
  information
- Bushfire and geotechnical classification are provided for convenience. Purchasers should refer to referenced detail specialist reports.
- 5. This preliminary site analysis plan has been collated from various sources of design information and is provided for convenience to assist purchasers in obtaining quotations/ tenders for dwelling construction.
- 6. This document does not form part of the contract of sale of the land.
- 7. Anticipated site classification is H2 or better (to be confirmed at completion of construction).



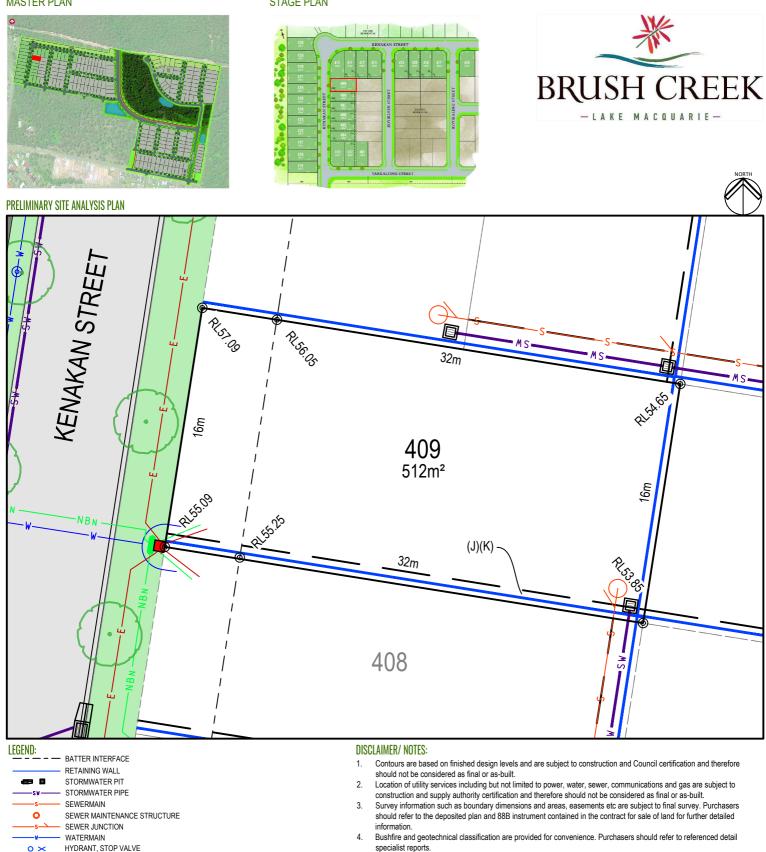
A QUALITY MCCLOY

GROUP PROJEC1

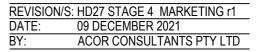
### LOT 409, KENAKAN STREET, EDGEWORTH

#### MASTER PLAN

STAGE PLAN



- This preliminary site analysis plan has been collated from various sources of design information and is provided for convenience to assist purchasers in obtaining quotations/ tenders for dwelling construction
- 6 This document does not form part of the contract of sale of the land
- Anticipated site classification is H2 or better (to be confirmed at completion of construction) 7.
- (L) (K)
- EASEMENT TO DRAIN WATER 2 WIDE RESTRICTION ON USE OF LAND 0.9 WIDE
- (J) - EASEMENT FOR CONSTRUCTION AND MAINTENANCE 0.9 WIDE



## brushcreek.com.au

TELSTRA / NBN

STREET TREES

 $(\cdot)$ 

TELSTRA / NBN PIT

ELECTRICITY PILLAR ELECTRICAL EASEMENT LIGHT POLE

UNDER GROUND POWER

RESTRICTION ON THE USE OF LAND

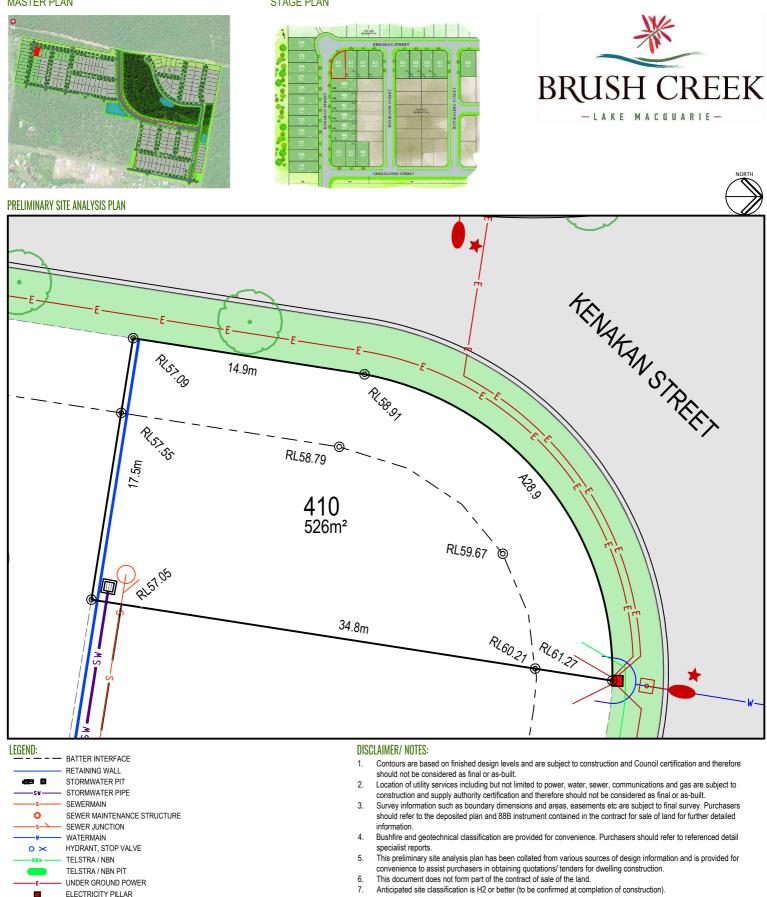
ASSET PROTECTION ZONE BDY



### LOT 410, KENAKAN STREET, EDGEWORTH



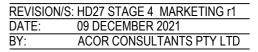
STAGE PLAN



(L)

- EASEMENT TO DRAIN WATER 2 WIDE - RESTRICTION ON USE OF LAND 0.9 WIDE (K)

- Ù) - EASEMENT FOR CONSTRUCTION AND MAINTENANCE 0.9 WIDE



A QUALITY MCCLOY

GROUP PROJEC

## brushcreek.com.au

ELECTRICAL EASEMENT LIGHT POLE

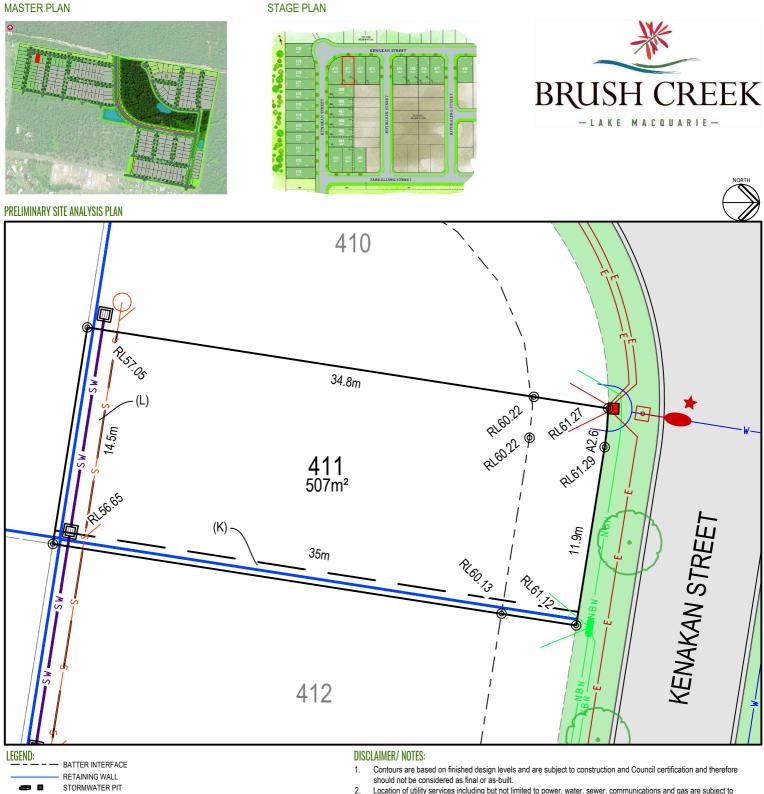
STREET TREES

 $(\cdot)$ 

RESTRICTION ON THE USE OF LAND

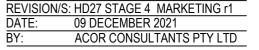
ASSET PROTECTION ZONE BDY

## LOT 411, KENAKAN STREET, EDGEWORTH



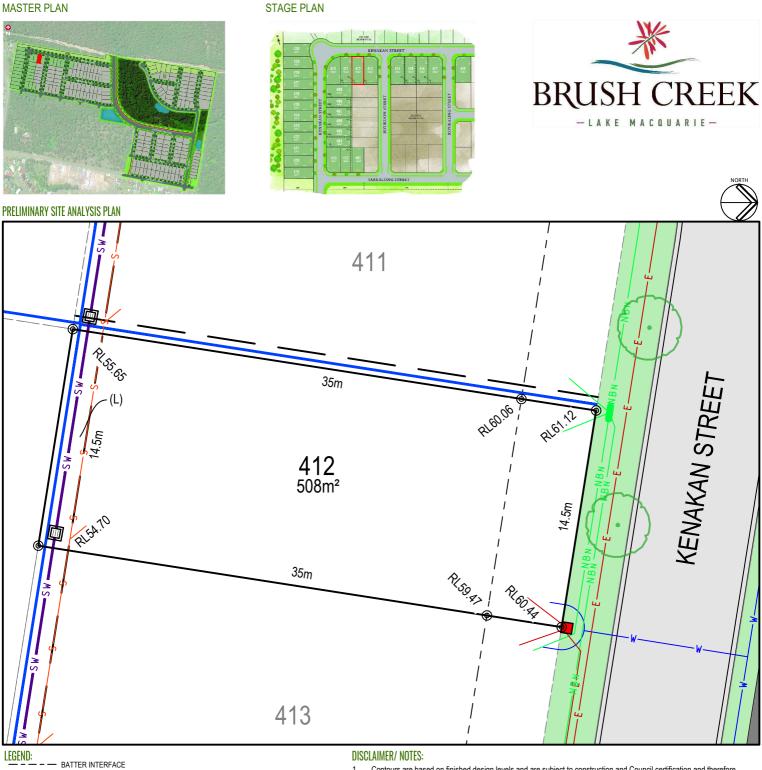
STORMWATER PIPE SEWERMAIN SEWER MAINTENANCE STRUCTURE 0 SEWER JUNCTION WATERMAIN HYDRANT, STOP VALVE 0 × TELSTRA / NBN TELSTRA / NBN PIT UNDER GROUND POWER ELECTRICITY PILLAR ELECTRICAL EASEMENT LIGHT POLE RESTRICTION ON THE USE OF LAND  $(\cdot)$ STREET TREES ASSET PROTECTION ZONE BDY

- Location of utility services including but not limited to power, water, sewer, communications and gas are subject to construction and supply authority certification and therefore should not be considered as final or as-built.
- Survey information such as boundary dimensions and areas, easements etc are subject to final survey. Purchasers 3 should refer to the deposited plan and 88B instrument contained in the contract for sale of land for further detailed information
- Bushfire and geotechnical classification are provided for convenience. Purchasers should refer to referenced detail 4 specialist reports.
- This preliminary site analysis plan has been collated from various sources of design information and is provided for convenience to assist purchasers in obtaining quotations/ tenders for dwelling construction
- 6 This document does not form part of the contract of sale of the land
- Anticipated site classification is H2 or better (to be confirmed at completion of construction). 7.
- (L)
- EASEMENT TO DRAIN WATER 2 WIDE RESTRICTION ON USE OF LAND 0.9 WIDE (K)
- Ù) - EASEMENT FOR CONSTRUCTION AND MAINTENANCE 0.9 WIDE





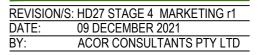
### LOT 412, KENAKAN STREET, EDGEWORTH



	BATTER INTERFACE		
	RETAINING WALL		
æ 0	STORMWATER PIT		
sw	STORMWATER PIPE		
s	SEWERMAIN		
0	SEWER MAINTENANCE STRUCTURE		
s	SEWER JUNCTION		
¥	WATERMAIN		
0 × 0	HYDRANT, STOP VALVE		
	TELSTRA / NBN		
	TELSTRA / NBN PIT		
E	UNDER GROUND POWER		
•	ELECTRICITY PILLAR		
[ [ ] ]	ELECTRICAL EASEMENT		
<b>.</b>	LIGHT POLE		
	RESTRICTION ON THE USE OF LAND	(L)	- EASEMENT TO D
$\odot$	STREET TREES	(K)	- RESTRICTION C
	ASSET PROTECTION ZONE BDY	(J)	- EASEMENT FOR

- 1. Contours are based on finished design levels and are subject to construction and Council certification and therefore should not be considered as final or as-built.
- Location of utility services including but not limited to power, water, sewer, communications and gas are subject to 2. construction and supply authority certification and therefore should not be considered as final or as-built.
- 3 Survey information such as boundary dimensions and areas, easements etc are subject to final survey. Purchasers should refer to the deposited plan and 88B instrument contained in the contract for sale of land for further detailed information
- Bushfire and geotechnical classification are provided for convenience. Purchasers should refer to referenced detail 4 specialist reports.
- This preliminary site analysis plan has been collated from various sources of design information and is provided for convenience to assist purchasers in obtaining quotations/ tenders for dwelling construction.
- 6 This document does not form part of the contract of sale of the land
- Anticipated site classification is H2 or better (to be confirmed at completion of construction). 7.

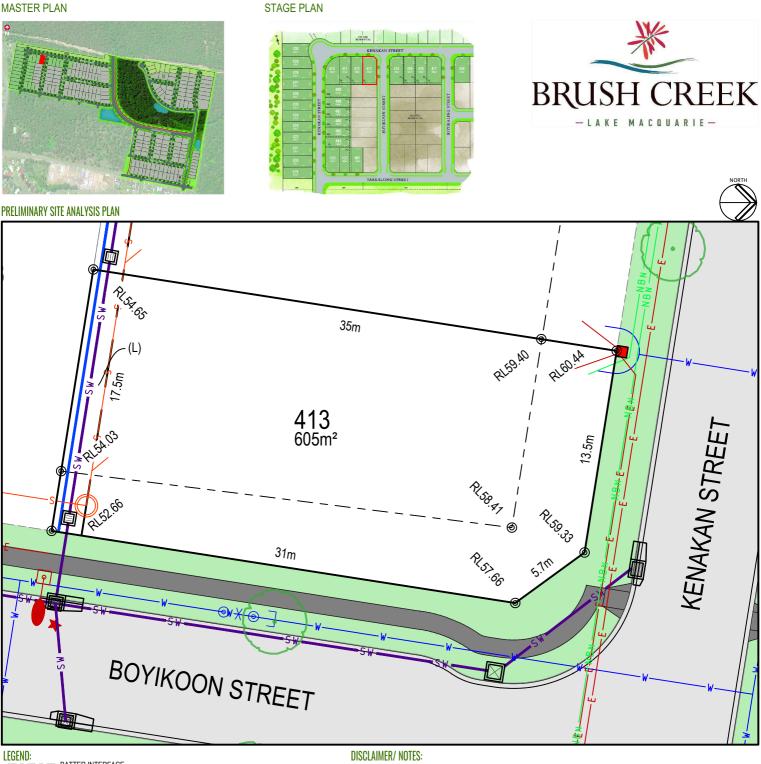
- DRAIN WATER 2 WIDE ON USE OF LAND 0.9 WIDE
- R CONSTRUCTION AND MAINTENANCE 0.9 WIDE



A QUALITY MCCLOY GROUP

PROJEC

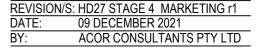
### LOT 413, KENAKAN STREET, EDGEWORTH



LEGEND:			
	BATTER INTERFACE		
	RETAINING WALL		
æ 0	STORMWATER PIT		
	STORMWATER PIPE		
s	SEWERMAIN		
0	SEWER MAINTENANCE STRUCTURE		
s	SEWER JUNCTION		
¥	WATERMAIN		
0 ×	HYDRANT, STOP VALVE		
	TELSTRA / NBN		
	TELSTRA / NBN PIT		
E	UNDER GROUND POWER		
	ELECTRICITY PILLAR		
11	ELECTRICAL EASEMENT		
<b>.</b>	LIGHT POLE		
	RESTRICTION ON THE USE OF LAND	(L	) - EASEMENT TO DRAIN W
$\odot$	STREET TREES	(K	,
	ASSET PROTECTION ZONE BDY	(5	

- 1. Contours are based on finished design levels and are subject to construction and Council certification and therefore should not be considered as final or as-built.
- Location of utility services including but not limited to power, water, sewer, communications and gas are subject to 2 construction and supply authority certification and therefore should not be considered as final or as-built.
- Survey information such as boundary dimensions and areas, easements etc are subject to final survey. Purchasers 3 should refer to the deposited plan and 88B instrument contained in the contract for sale of land for further detailed information.
- Bushfire and geotechnical classification are provided for convenience. Purchasers should refer to referenced detail 4 specialist reports.
- This preliminary site analysis plan has been collated from various sources of design information and is provided for convenience to assist purchasers in obtaining quotations/ tenders for dwelling construction.
- 6 This document does not form part of the contract of sale of the land
- Anticipated site classification is H2 or better (to be confirmed at completion of construction). 7.

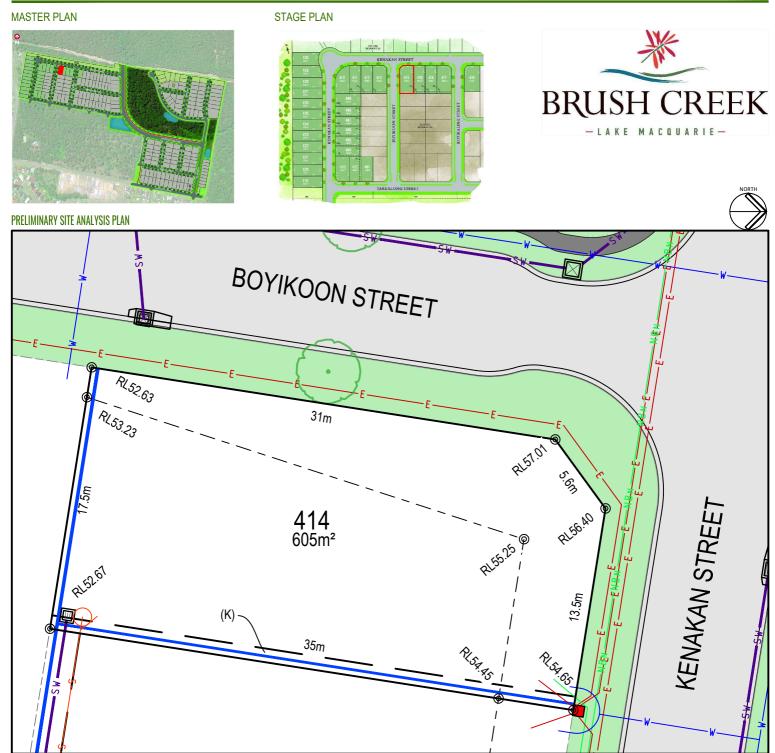
- VATER 2 WIDE OF LAND 0.9 WIDE
- **RUCTION AND MAINTENANCE 0.9 WIDE**



A QUALITY MCCLOY

GROUP PROJEC

### LOT 414, KENAKAN STREET, EDGEWORTH

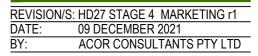


### LEGEND:

BATTER INTERFACE RETAINING WALL æ 0 STORMWATER PIT STORMWATER PIPE SEWERMAIN SEWER MAINTENANCE STRUCTURE 0 SEWER JUNCTION WATERMAIN HYDRANT, STOP VALVE  $\circ \times$ TELSTRA / NBN TELSTRA / NBN PIT UNDER GROUND POWER ELECTRICITY PILLAR ELECTRICAL EASEMENT LIGHT POLE RESTRICTION ON THE USE OF LAND  $(\cdot)$ STREET TREES ASSET PROTECTION ZONE BDY

#### **DISCLAIMER/ NOTES:**

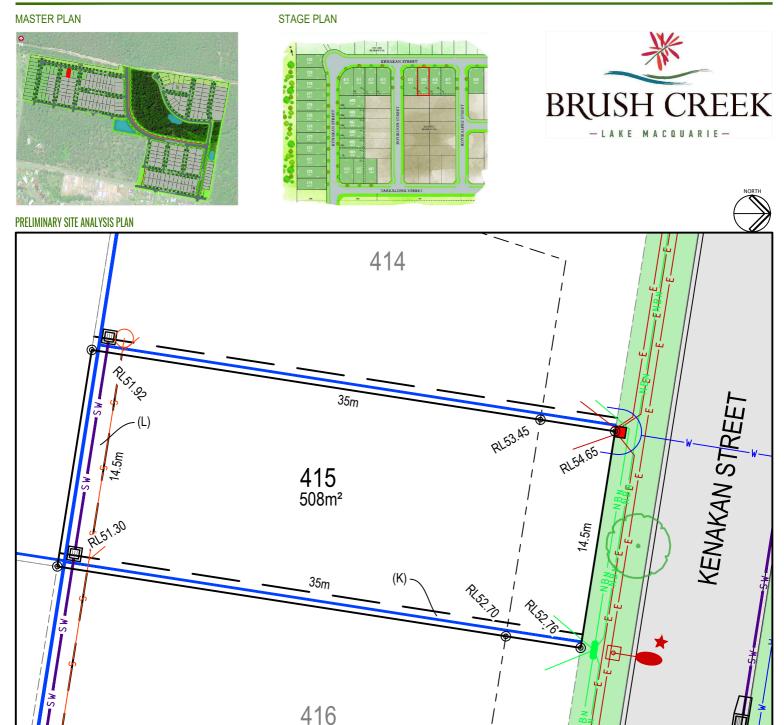
- Contours are based on finished design levels and are subject to construction and Council certification and therefore 1. should not be considered as final or as-built.
- Location of utility services including but not limited to power, water, sewer, communications and gas are subject to 2 construction and supply authority certification and therefore should not be considered as final or as-built.
- Survey information such as boundary dimensions and areas, easements etc are subject to final survey. Purchasers 3 should refer to the deposited plan and 88B instrument contained in the contract for sale of land for further detailed information
- Bushfire and geotechnical classification are provided for convenience. Purchasers should refer to referenced detail 4 specialist reports.
- This preliminary site analysis plan has been collated from various sources of design information and is provided for convenience to assist purchasers in obtaining quotations/ tenders for dwelling construction
- 6 This document does not form part of the contract of sale of the land
- Anticipated site classification is H2 or better (to be confirmed at completion of construction) 7.
- (L)
- EASEMENT TO DRAIN WATER 2 WIDE RESTRICTION ON USE OF LAND 0.9 WIDE (K)
- Ù) - EASEMENT FOR CONSTRUCTION AND MAINTENANCE 0.9 WIDE



A QUALITY MCCLOY

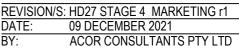
GROUP PROJEC

## LOT 415, KENAKAN STREET, EDGEWORTH



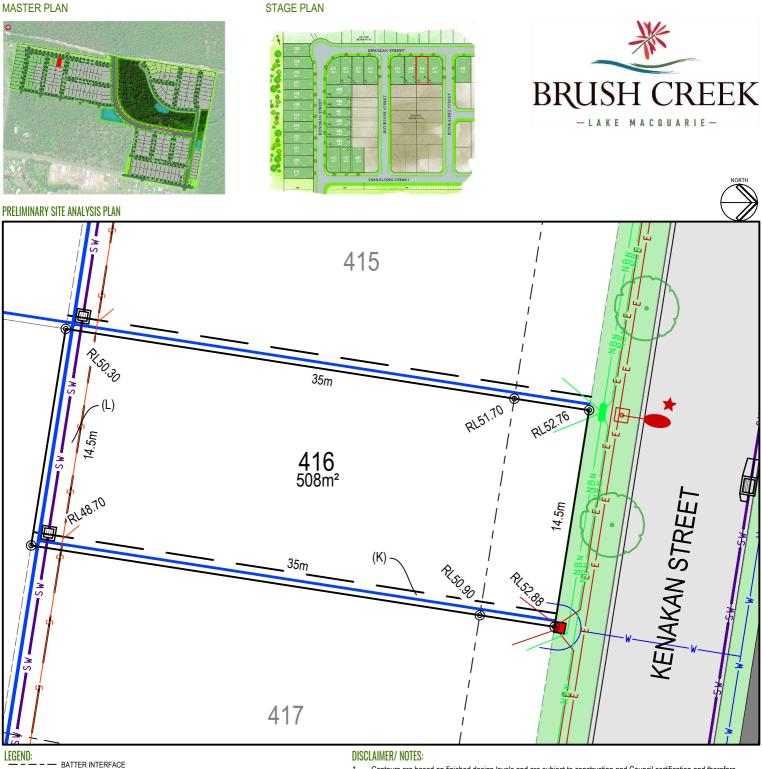
<ul> <li>BATTER INTERFACE</li> <li>RETAINING WALL</li> <li>STORMWATER PIT</li> <li>STORMWATER PIPE</li> <li>SEWER MAINTENANCE STRUCTURE</li> <li>SEWER JUNCTION</li> <li>WATERMAIN</li> <li>HYDRANT, STOP VALVE</li> <li>TELSTRA / NBN</li> <li>TELSTRA / NBN PIT</li> <li>UNDER GROUND POWER</li> <li>ELECTRICITY PILLAR</li> </ul>	DIS 1. 2. 3. 4. 5. 6. 7.	should not be considered as final or as-bu Location of utility services including but no construction and supply authority certifica Survey information such as boundary dim should refer to the deposited plan and 88t information. Bushfire and geotechnical classification ar specialist reports.	uilt. t limited to power, w tion and therefore si lensions and areas, B instrument contair re provided for conv en collated from var ning quotations/ ten contract of sale of th	e land.
ELECTRICAL EASEMENT LIGHT POLE RESTRICTION ON THE USE OF LAND STREET TREES ASSET PROTECTION ZONE BDY	(L) - EASEMENT TO DRAIN WATER 2 (K) - RESTRICTION ON USE OF LAN (J) - EASEMENT FOR CONSTRUCTION	0.9 WIDE	REVISIOI DATE: BY:	N/S: HD27 STAGE 4 MARKETING r 09 DECEMBER 2021 ACOR CONSULTANTS PTY LT

- er, sewer, communications and gas are subject to
- Id not be considered as final or as-built. ements etc are subject to final survey. Purchasers
- in the contract for sale of land for further detailed
- ence. Purchasers should refer to referenced detail
- s sources of design information and is provided for s for dwelling construction.
- ind
- completion of construction).





## LOT 416, KENAKAN STREET, EDGEWORTH



RETAINING WALL æ 0 STORMWATER PIT STORMWATER PIPE SEWERMAIN SEWER MAINTENANCE STRUCTURE 0 SEWER JUNCTION WATERMAIN HYDRANT, STOP VALVE o × TELSTRA / NBN TELSTRA / NBN PIT UNDER GROUND POWER

 $(\cdot)$ 

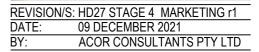
#### ELECTRICITY PILLAR ELECTRICAL EASEMENT

LIGHT POLE RESTRICTION ON THE USE OF LAND

#### STREET TREES

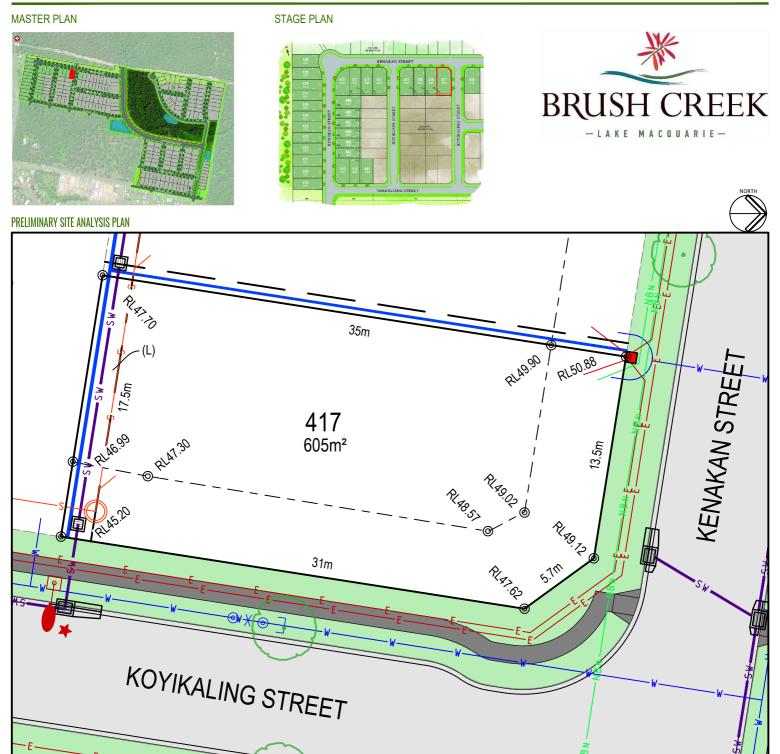
ASSET PROTECTION ZONE BDY

- Contours are based on finished design levels and are subject to construction and Council certification and therefore 1. should not be considered as final or as-built.
- Location of utility services including but not limited to power, water, sewer, communications and gas are subject to 2 construction and supply authority certification and therefore should not be considered as final or as-built.
- Survey information such as boundary dimensions and areas, easements etc are subject to final survey. Purchasers 3 should refer to the deposited plan and 88B instrument contained in the contract for sale of land for further detailed information
- Bushfire and geotechnical classification are provided for convenience. Purchasers should refer to referenced detail 4 specialist reports.
- This preliminary site analysis plan has been collated from various sources of design information and is provided for convenience to assist purchasers in obtaining quotations/ tenders for dwelling construction
- 6 This document does not form part of the contract of sale of the land
- Anticipated site classification is H2 or better (to be confirmed at completion of construction) 7.
- (L)
- EASEMENT TO DRAIN WATER 2 WIDE RESTRICTION ON USE OF LAND 0.9 WIDE (K)
- (J) - EASEMENT FOR CONSTRUCTION AND MAINTENANCE 0.9 WIDE





### LOT 417, KENAKAN STREET, EDGEWORTH

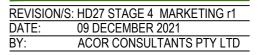


#### I FGFND:

I FIJFINIJ:	
	BATTER INTERFACE
	RETAINING WALL
<b>e 1</b>	STORMWATER PIT
sw	STORMWATER PIPE
<u> </u>	SEWERMAIN
0	SEWER MAINTENANCE STRUCTURE
s	SEWER JUNCTION
v	WATERMAIN
0 × 0	HYDRANT, STOP VALVE
	TELSTRA / NBN
	TELSTRA / NBN PIT
t	UNDER GROUND POWER
	ELECTRICITY PILLAR
	ELECTRICAL EASEMENT
<b>—</b> —	LIGHT POLE
	RESTRICTION ON THE USE OF LAND
$\odot$	STREET TREES
	ASSET PROTECTION ZONE BDY

#### **DISCLAIMER/ NOTES:**

- 1. Contours are based on finished design levels and are subject to construction and Council certification and therefore should not be considered as final or as-built.
- Location of utility services including but not limited to power, water, sewer, communications and gas are subject to 2 construction and supply authority certification and therefore should not be considered as final or as-built.
- Survey information such as boundary dimensions and areas, easements etc are subject to final survey. Purchasers 3 should refer to the deposited plan and 88B instrument contained in the contract for sale of land for further detailed information
- Bushfire and geotechnical classification are provided for convenience. Purchasers should refer to referenced detail 4 specialist reports.
- This preliminary site analysis plan has been collated from various sources of design information and is provided for convenience to assist purchasers in obtaining quotations/ tenders for dwelling construction.
- 6 This document does not form part of the contract of sale of the land
- Anticipated site classification is H2 or better (to be confirmed at completion of construction). 7.
- EASEMENT TO DRAIN WATER 2 WIDE RESTRICTION ON USE OF LAND 0.9 WIDE (L) (K)
- Ù) - EASEMENT FOR CONSTRUCTION AND MAINTENANCE 0.9 WIDE



A QUALITY MCCLOY

GROUP PROJEC

## LOT 418, KENAKAN STREET, EDGEWORTH

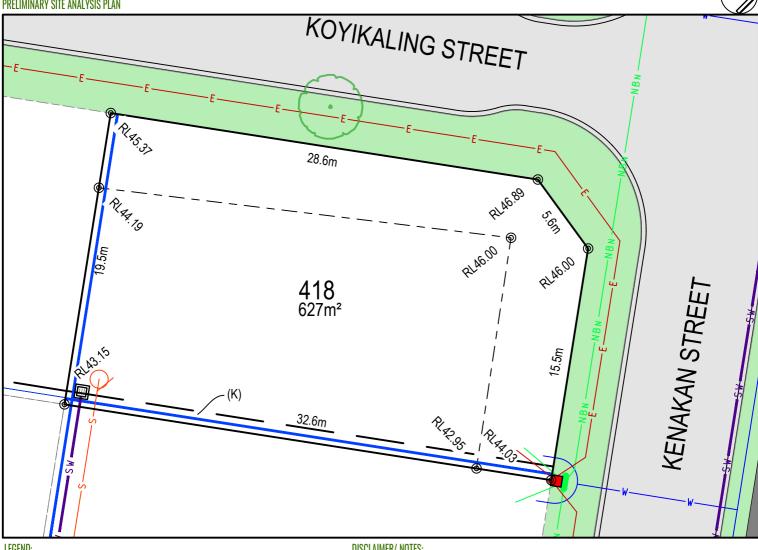


STAGE PLAN





#### PRELIMINARY SITE ANALYSIS PLAN

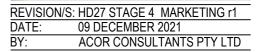


#### LEGEND:

BATTER INTERFACE
RETAINING WALL
STORMWATER PIT
STORMWATER PIPE
SEWERMAIN
SEWER MAINTENANCE STRUCTURE
SEWER JUNCTION
WATERMAIN
HYDRANT, STOP VALVE
TELSTRA / NBN
TELSTRA / NBN PIT
UNDER GROUND POWER
ELECTRICITY PILLAR
ELECTRICAL EASEMENT
LIGHT POLE
RESTRICTION ON THE USE OF LAND
STREET TREES
ASSET PROTECTION ZONE BDY

#### **DISCLAIMER/ NOTES:**

- Contours are based on finished design levels and are subject to construction and Council certification and therefore 1. should not be considered as final or as-built.
- Location of utility services including but not limited to power, water, sewer, communications and gas are subject to 2 construction and supply authority certification and therefore should not be considered as final or as-built.
- Survey information such as boundary dimensions and areas, easements etc are subject to final survey. Purchasers 3 should refer to the deposited plan and 88B instrument contained in the contract for sale of land for further detailed information
- Bushfire and geotechnical classification are provided for convenience. Purchasers should refer to referenced detail 4 specialist reports.
- This preliminary site analysis plan has been collated from various sources of design information and is provided for convenience to assist purchasers in obtaining quotations/ tenders for dwelling construction
- 6 This document does not form part of the contract of sale of the land
- Anticipated site classification is H2 or better (to be confirmed at completion of construction). 7.
- (L) (K)
- EASEMENT TO DRAIN WATER 2 WIDE RESTRICTION ON USE OF LAND 0.9 WIDE
- Ù) - EASEMENT FOR CONSTRUCTION AND MAINTENANCE 0.9 WIDE





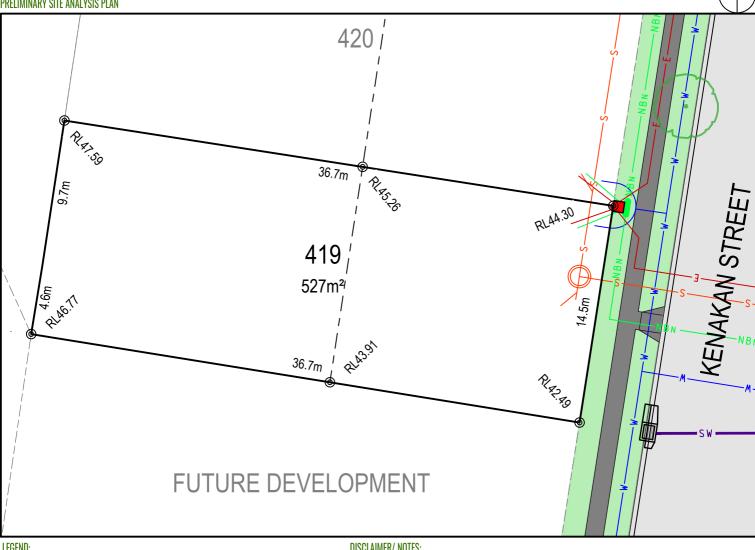
## LOT 419, KENAKAN STREET, EDGEWORTH







### PRELIMINARY SITE ANALYSIS PLAN



LEGEND:				DISC	CLAIMER/ NOTES:		
	- BATTER INTERFACE			1.		evels and are subject	to construction and Council certification and therefore
	- RETAINING WALL				should not be considered as final or as-b		
	STORMWATER PIT - STORMWATER PIPE		:	2.			vater, sewer, communications and gas are subject to
	- STORMWATER PIPE - SEWERMAIN			2			nould not be considered as final or as-built. easements etc are subject to final survey. Purchasers
ò	SEWER MAINTENANCE STRUCTURE			э.			easements etc are subject to final survey. Purchasers led in the contract for sale of land for further detailed
s	- SEWER JUNCTION				information.		
v	- WATERMAIN			4.	Bushfire and geotechnical classification a	are provided for conv	enience. Purchasers should refer to referenced detail
0 ×	HYDRANT, STOP VALVE			_	specialist reports.		
	- TELSTRA / NBN			5.			ious sources of design information and is provided for
	TELSTRA / NBN PIT			6.	convenience to assist purchasers in obta This document does not form part of the		
E	- UNDER GROUND POWER			0. 7.	Anticipated site classification is H2 or be		
							/
 	ELECTRICAL EASEMENT LIGHT POLE						
	- RESTRICTION ON THE USE OF LAND	(1)	- EASEMENT TO DRAIN WATE	-R 2	WIDE	REVISIO	N/S: HD27 STAGE 4 MARKETING r
$\odot$	STREET TREES	(E) (K)	- RESTRICTION ON USE OF L	AND	0.9 WIDE	DATE:	09 DECEMBER 2021
	- ASSET PROTECTION ZONE BDY	(J)	- EASEMENT FOR CONSTRUC	CTIO	N AND MAINTENANCE 0.9 WIDE	BY:	ACOR CONSULTANTS PTY LT

## brushcreek.com.au

#### ARKETING r1 21 ACOR CONSULTANTS PTY LTD BY:



## LOT 420, KENAKAN STREET, EDGEWORTH

#### MASTER PLAN

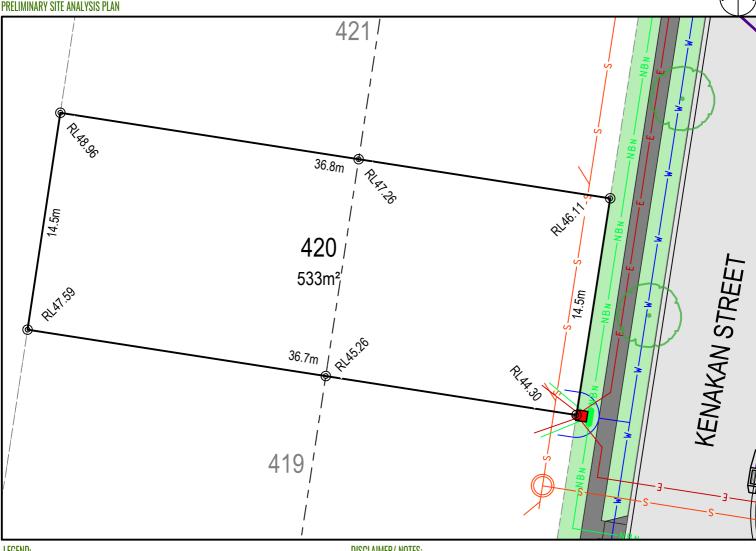
STAGE PLAN







#### PRELIMINARY SITE ANALYSIS PLAN



#### LEGEND:

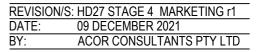
	BATTER INTERFACE
	RETAINING WALL
<b>e b</b>	STORMWATER PIT
sw	STORMWATER PIPE
s	SEWERMAIN
0	SEWER MAINTENANCE STRUCTURE
s	SEWER JUNCTION
v	WATERMAIN
0 × 0	HYDRANT, STOP VALVE
	TELSTRA / NBN
	TELSTRA / NBN PIT
E	UNDER GROUND POWER
	ELECTRICITY PILLAR
[]	ELECTRICAL EASEMENT
	LIGHT POLE
	RESTRICTION ON THE USE OF LAND
$\odot$	STREET TREES
	ASSET PROTECTION ZONE BDY

#### **DISCLAIMER/ NOTES:**

- 1. Contours are based on finished design levels and are subject to construction and Council certification and therefore should not be considered as final or as-built.
- Location of utility services including but not limited to power, water, sewer, communications and gas are subject to 2. construction and supply authority certification and therefore should not be considered as final or as-built.
- Survey information such as boundary dimensions and areas, easements etc are subject to final survey. Purchasers 3 should refer to the deposited plan and 88B instrument contained in the contract for sale of land for further detailed information
- Bushfire and geotechnical classification are provided for convenience. Purchasers should refer to referenced detail 4 specialist reports.
- This preliminary site analysis plan has been collated from various sources of design information and is provided for convenience to assist purchasers in obtaining quotations/ tenders for dwelling construction
- 6 This document does not form part of the contract of sale of the land
- Anticipated site classification is H2 or better (to be confirmed at completion of construction). 7.

(L) (K)

- EASEMENT TO DRAIN WATER 2 WIDE RESTRICTION ON USE OF LAND 0.9 WIDE
- (J)
- EASEMENT FOR CONSTRUCTION AND MAINTENANCE 0.9 WIDE



A QUALITY MCCLOY GROUP

PROJEC

## LOT 421, KENAKAN STREET, EDGEWORTH

#### MASTER PLAN

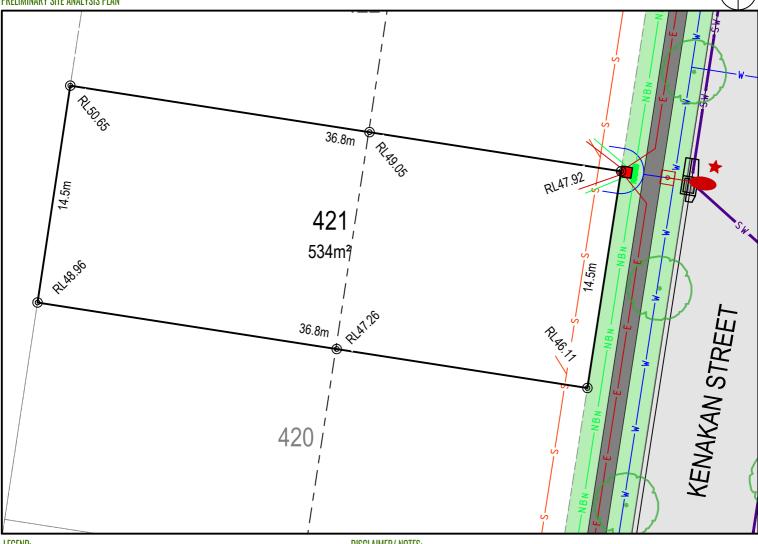
STAGE PLAN







#### PRELIMINARY SITE ANALYSIS PLAN

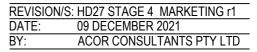


#### LEGEND:

LLULIND	
	BATTER INTERFACE
	RETAINING WALL
<b>e 1</b>	STORMWATER PIT
sw	STORMWATER PIPE
<u> </u>	SEWERMAIN
0	SEWER MAINTENANCE STRUCTURE
s	SEWER JUNCTION
v	WATERMAIN
0 × 0	HYDRANT, STOP VALVE
	TELSTRA / NBN
	TELSTRA / NBN PIT
E	UNDER GROUND POWER
	ELECTRICITY PILLAR
	ELECTRICAL EASEMENT
	LIGHT POLE
	RESTRICTION ON THE USE OF LAND
$\odot$	STREET TREES
	ASSET PROTECTION ZONE BDY

#### **DISCLAIMER/ NOTES:**

- 1. Contours are based on finished design levels and are subject to construction and Council certification and therefore should not be considered as final or as-built.
- Location of utility services including but not limited to power, water, sewer, communications and gas are subject to 2 construction and supply authority certification and therefore should not be considered as final or as-built.
- Survey information such as boundary dimensions and areas, easements etc are subject to final survey. Purchasers 3 should refer to the deposited plan and 88B instrument contained in the contract for sale of land for further detailed information
- Bushfire and geotechnical classification are provided for convenience. Purchasers should refer to referenced detail 4 specialist reports.
- This preliminary site analysis plan has been collated from various sources of design information and is provided for convenience to assist purchasers in obtaining quotations/ tenders for dwelling construction
- 6 This document does not form part of the contract of sale of the land
- Anticipated site classification is H2 or better (to be confirmed at completion of construction) 7.
- EASEMENT TO DRAIN WATER 2 WIDE RESTRICTION ON USE OF LAND 0.9 WIDE (L) (K)
- (J) - EASEMENT FOR CONSTRUCTION AND MAINTENANCE 0.9 WIDE



A QUALITY MCCLOY GROUP

PROJEC



## LOT 422, KENAKAN STREET, EDGEWORTH

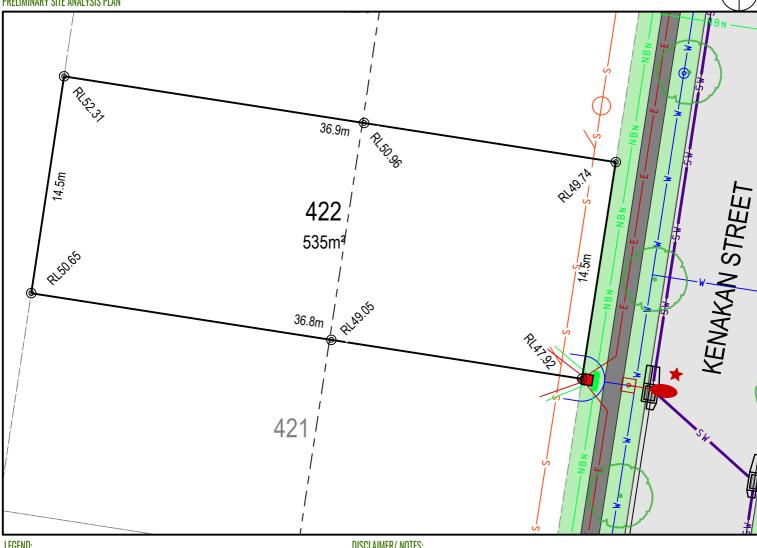
#### MASTER PLAN

STAGE PLAN





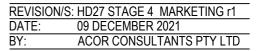
### PRELIMINARY SITE ANALYSIS PLAN



LLULND	
	BATTER INTERFACE
	RETAINING WALL
<b>e 1</b>	STORMWATER PIT
	STORMWATER PIPE
<u>          s         </u>	SEWERMAIN
0	SEWER MAINTENANCE STRUCTURE
s	SEWER JUNCTION
v	WATERMAIN
ο×	HYDRANT, STOP VALVE
	TELSTRA / NBN
	TELSTRA / NBN PIT
E	UNDER GROUND POWER
	ELECTRICITY PILLAR
	ELECTRICAL EASEMENT
	LIGHT POLE
	RESTRICTION ON THE USE OF LAND
$\odot$	STREET TREES
	ASSET PROTECTION ZONE BDY

#### **DISCLAIMER/ NOTES:**

- 1. Contours are based on finished design levels and are subject to construction and Council certification and therefore should not be considered as final or as-built.
- Location of utility services including but not limited to power, water, sewer, communications and gas are subject to 2 construction and supply authority certification and therefore should not be considered as final or as-built.
- Survey information such as boundary dimensions and areas, easements etc are subject to final survey. Purchasers 3 should refer to the deposited plan and 88B instrument contained in the contract for sale of land for further detailed information
- Bushfire and geotechnical classification are provided for convenience. Purchasers should refer to referenced detail 4 specialist reports.
- This preliminary site analysis plan has been collated from various sources of design information and is provided for convenience to assist purchasers in obtaining quotations/ tenders for dwelling construction
- 6 This document does not form part of the contract of sale of the land
- Anticipated site classification is H2 or better (to be confirmed at completion of construction). 7.
- EASEMENT TO DRAIN WATER 2 WIDE RESTRICTION ON USE OF LAND 0.9 WIDE (L) (K)
- (J) - EASEMENT FOR CONSTRUCTION AND MAINTENANCE 0.9 WIDE



A QUALITY MCCLOY GROUP

PROJEC

## LOT 423, KENAKAN STREET, EDGEWORTH

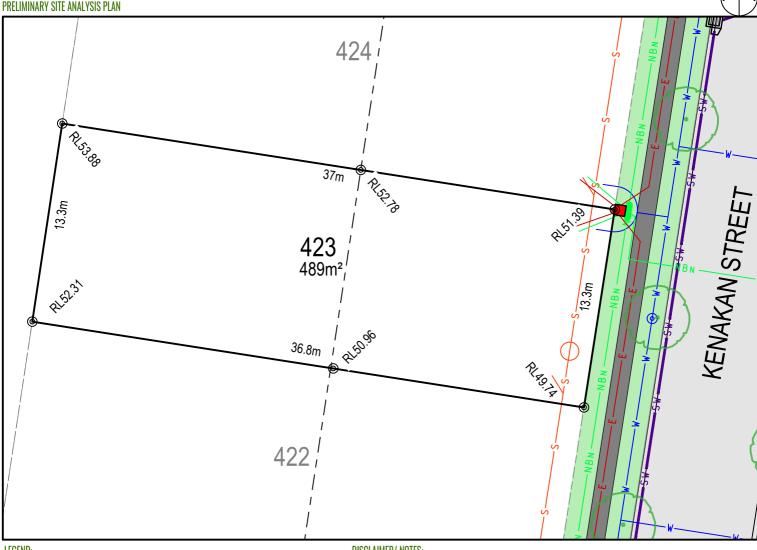


STAGE PLAN





### PRELIMINARY SITE ANALYSIS PLAN



#### LEGEND:

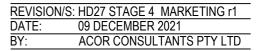
LLULIND	
	BATTER INTERFACE
	RETAINING WALL
<b>a a</b>	STORMWATER PIT
sw	STORMWATER PIPE
s	SEWERMAIN
0	SEWER MAINTENANCE STRUCTURE
s	SEWER JUNCTION
v	WATERMAIN
0 × 0	HYDRANT, STOP VALVE
	TELSTRA / NBN
	TELSTRA / NBN PIT
E	UNDER GROUND POWER
	ELECTRICITY PILLAR
	ELECTRICAL EASEMENT
	LIGHT POLE
<u> </u>	RESTRICTION ON THE USE OF LAND
$\odot$	STREET TREES
	ASSET PROTECTION ZONE BDY

#### **DISCLAIMER/ NOTES:**

- 1. Contours are based on finished design levels and are subject to construction and Council certification and therefore should not be considered as final or as-built.
- Location of utility services including but not limited to power, water, sewer, communications and gas are subject to 2 construction and supply authority certification and therefore should not be considered as final or as-built.
- Survey information such as boundary dimensions and areas, easements etc are subject to final survey. Purchasers 3 should refer to the deposited plan and 88B instrument contained in the contract for sale of land for further detailed information
- Bushfire and geotechnical classification are provided for convenience. Purchasers should refer to referenced detail 4 specialist reports.
- This preliminary site analysis plan has been collated from various sources of design information and is provided for convenience to assist purchasers in obtaining quotations/ tenders for dwelling construction
- 6 This document does not form part of the contract of sale of the land
- Anticipated site classification is H2 or better (to be confirmed at completion of construction) 7.

(L) (K)

- EASEMENT TO DRAIN WATER 2 WIDE RESTRICTION ON USE OF LAND 0.9 WIDE
- (J) - EASEMENT FOR CONSTRUCTION AND MAINTENANCE 0.9 WIDE



A QUALITY MCCLOY

GROUP PROJEC

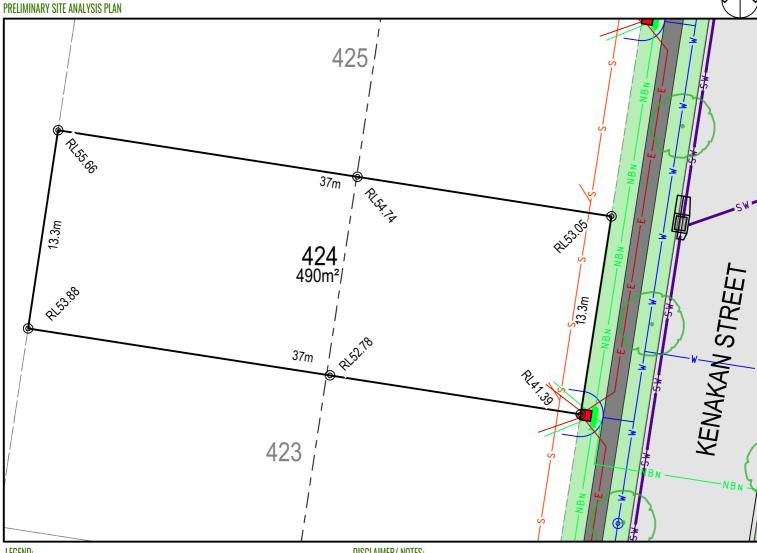
## LOT 424, KENAKAN STREET, EDGEWORTH

#### MASTER PLAN

STAGE PLAN







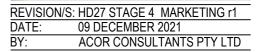
#### LEGEND:

LLULIND	
	BATTER INTERFACE
I	RETAINING WALL
<b>e</b> • • •	STORMWATER PIT
sw	STORMWATER PIPE
s	SEWERMAIN
•	SEWER MAINTENANCE STRUCTURE
<u> </u>	SEWER JUNCTION
v	WATERMAIN
0 × 1	HYDRANT, STOP VALVE
	TELSTRA / NBN
	TELSTRA / NBN PIT
<u>—</u> Е I	JNDER GROUND POWER
<b>–</b> I	ELECTRICITY PILLAR
	ELECTRICAL EASEMENT
<b>.</b>	LIGHT POLE
I	RESTRICTION ON THE USE OF LAND
$\odot$	STREET TREES
	ASSET PROTECTION ZONE BDY

#### **DISCLAIMER/ NOTES:**

- 1. Contours are based on finished design levels and are subject to construction and Council certification and therefore should not be considered as final or as-built.
- Location of utility services including but not limited to power, water, sewer, communications and gas are subject to 2. construction and supply authority certification and therefore should not be considered as final or as-built.
- Survey information such as boundary dimensions and areas, easements etc are subject to final survey. Purchasers 3 should refer to the deposited plan and 88B instrument contained in the contract for sale of land for further detailed information
- Bushfire and geotechnical classification are provided for convenience. Purchasers should refer to referenced detail 4 specialist reports.
- This preliminary site analysis plan has been collated from various sources of design information and is provided for convenience to assist purchasers in obtaining quotations/ tenders for dwelling construction
- 6 This document does not form part of the contract of sale of the land
- Anticipated site classification is H2 or better (to be confirmed at completion of construction). 7.

- EASEMENT TO DRAIN WATER 2 WIDE RESTRICTION ON USE OF LAND 0.9 WIDE (L) (K)
- (J) - EASEMENT FOR CONSTRUCTION AND MAINTENANCE 0.9 WIDE



A QUALITY MCCLOY GROUP

PROJEC

## LOT 425, KENAKAN STREET, EDGEWORTH



STAGE PLAN







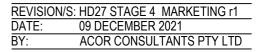


#### LFGFND

BATTER INTERFACE
RETAINING WALL
STORMWATER PIT
STORMWATER PIPE
SEWERMAIN
SEWER MAINTENANCE STRUCTURE
SEWER JUNCTION
WATERMAIN
HYDRANT, STOP VALVE
TELSTRA / NBN
TELSTRA / NBN PIT
UNDER GROUND POWER
ELECTRICITY PILLAR
ELECTRICAL EASEMENT
LIGHT POLE
RESTRICTION ON THE USE OF LAND
STREET TREES
ASSET PROTECTION ZONE BDY

#### **DISCLAIMER/ NOTES:**

- 1. Contours are based on finished design levels and are subject to construction and Council certification and therefore should not be considered as final or as-built.
- Location of utility services including but not limited to power, water, sewer, communications and gas are subject to 2. construction and supply authority certification and therefore should not be considered as final or as-built.
- Survey information such as boundary dimensions and areas, easements etc are subject to final survey. Purchasers 3 should refer to the deposited plan and 88B instrument contained in the contract for sale of land for further detailed information
- Bushfire and geotechnical classification are provided for convenience. Purchasers should refer to referenced detail 4 specialist reports.
- This preliminary site analysis plan has been collated from various sources of design information and is provided for convenience to assist purchasers in obtaining quotations/ tenders for dwelling construction
- 6 This document does not form part of the contract of sale of the land
- Anticipated site classification is H2 or better (to be confirmed at completion of construction) 7.
- (L) (K)
- EASEMENT TO DRAIN WATER 2 WIDE RESTRICTION ON USE OF LAND 0.9 WIDE
- (J) - EASEMENT FOR CONSTRUCTION AND MAINTENANCE 0.9 WIDE



A QUALITY MCCLOY GROUP

PROJEC

## LOT 426, KENAKAN STREET, EDGEWORTH

#### MASTER PLAN

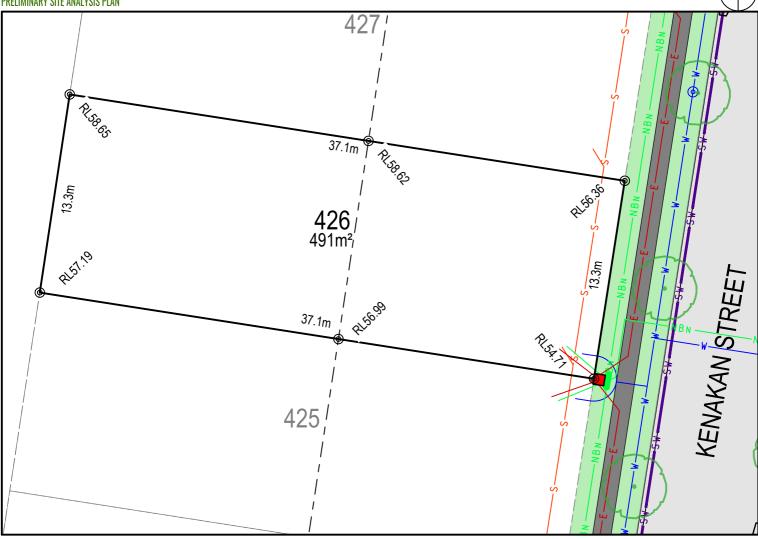
STAGE PLAN







#### PRELIMINARY SITE ANALYSIS PLAN

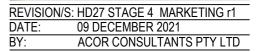


#### I FGFND:

BATTER INTERFACE
RETAINING WALL
STORMWATER PIT
STORMWATER PIPE
SEWERMAIN
SEWER MAINTENANCE STRUCTURE
SEWER JUNCTION
WATERMAIN
HYDRANT, STOP VALVE
TELSTRA / NBN
TELSTRA / NBN PIT
UNDER GROUND POWER
ELECTRICITY PILLAR
ELECTRICAL EASEMENT
LIGHT POLE
RESTRICTION ON THE USE OF LAND
STREET TREES
ASSET PROTECTION ZONE BDY

#### **DISCLAIMER/ NOTES:**

- 1. Contours are based on finished design levels and are subject to construction and Council certification and therefore should not be considered as final or as-built.
- Location of utility services including but not limited to power, water, sewer, communications and gas are subject to 2. construction and supply authority certification and therefore should not be considered as final or as-built.
- Survey information such as boundary dimensions and areas, easements etc are subject to final survey. Purchasers 3 should refer to the deposited plan and 88B instrument contained in the contract for sale of land for further detailed information
- Bushfire and geotechnical classification are provided for convenience. Purchasers should refer to referenced detail 4 specialist reports.
- This preliminary site analysis plan has been collated from various sources of design information and is provided for convenience to assist purchasers in obtaining quotations/ tenders for dwelling construction
- 6 This document does not form part of the contract of sale of the land
- Anticipated site classification is H2 or better (to be confirmed at completion of construction) 7.
- EASEMENT TO DRAIN WATER 2 WIDE RESTRICTION ON USE OF LAND 0.9 WIDE (L) (K)
- (J) - EASEMENT FOR CONSTRUCTION AND MAINTENANCE 0.9 WIDE



A QUALITY MCCLOY GROUP

PROJEC



## LOT 427, KENAKAN STREET, EDGEWORTH

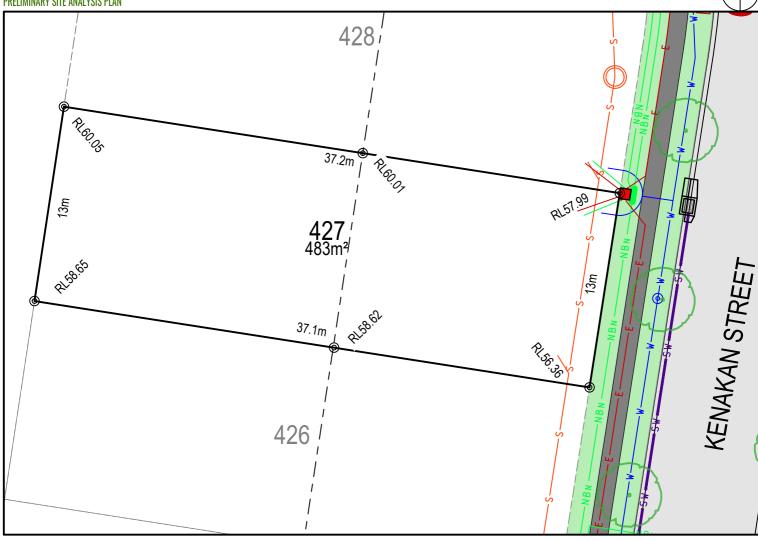


STAGE PLAN





#### PRELIMINARY SITE ANALYSIS PLAN

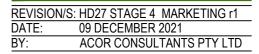


#### LEGEND:

LLULIND	
	BATTER INTERFACE
	RETAINING WALL
<b>C</b> P <b>D</b>	STORMWATER PIT
sw	STORMWATER PIPE
<u> </u>	SEWERMAIN
0	SEWER MAINTENANCE STRUCTURE
<u> </u>	SEWER JUNCTION
v	WATERMAIN
ο×	HYDRANT, STOP VALVE
	TELSTRA / NBN
	TELSTRA / NBN PIT
E	UNDER GROUND POWER
	ELECTRICITY PILLAR
	ELECTRICAL EASEMENT
	LIGHT POLE
	RESTRICTION ON THE USE OF LAND
$\odot$	STREET TREES
	ASSET PROTECTION ZONE BDY

#### **DISCLAIMER/ NOTES:**

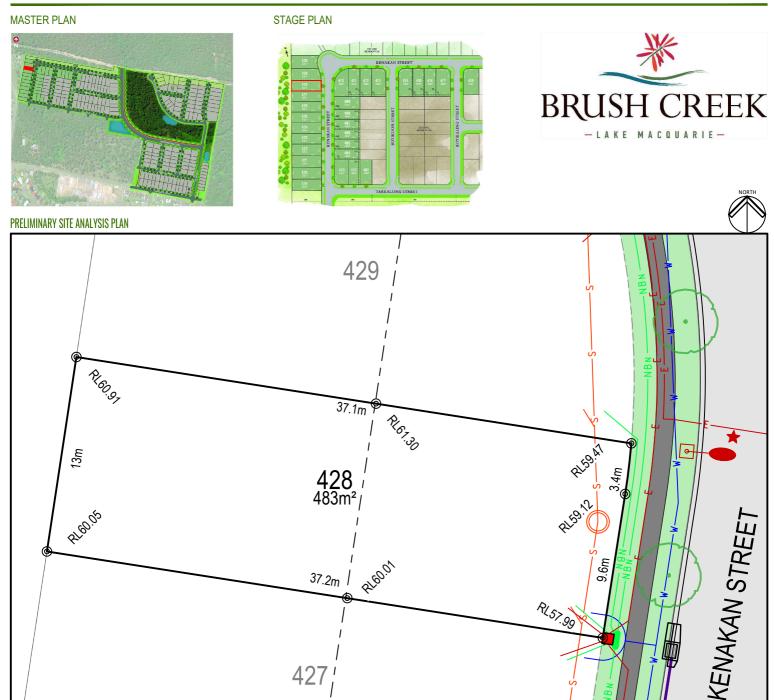
- 1. Contours are based on finished design levels and are subject to construction and Council certification and therefore should not be considered as final or as-built.
- Location of utility services including but not limited to power, water, sewer, communications and gas are subject to 2 construction and supply authority certification and therefore should not be considered as final or as-built.
- Survey information such as boundary dimensions and areas, easements etc are subject to final survey. Purchasers 3 should refer to the deposited plan and 88B instrument contained in the contract for sale of land for further detailed information
- Bushfire and geotechnical classification are provided for convenience. Purchasers should refer to referenced detail 4 specialist reports.
- This preliminary site analysis plan has been collated from various sources of design information and is provided for convenience to assist purchasers in obtaining quotations/ tenders for dwelling construction
- 6 This document does not form part of the contract of sale of the land
- Anticipated site classification is H2 or better (to be confirmed at completion of construction) 7.
- EASEMENT TO DRAIN WATER 2 WIDE RESTRICTION ON USE OF LAND 0.9 WIDE (L) (K)
- (J) - EASEMENT FOR CONSTRUCTION AND MAINTENANCE 0.9 WIDE



A QUALITY MCCLOY GROUP

PROJEC

## LOT 428, KENAKAN STREET, EDGEWORTH



#### 

I FGFND:	
	BATTER INTERFACE
	RETAINING WALL
æ 0	STORMWATER PIT
SW	STORMWATER PIPE
s	SEWERMAIN
0	SEWER MAINTENANCE STRUCTURE
<u> </u>	SEWER JUNCTION
v	WATERMAIN
0 × 0	HYDRANT, STOP VALVE
	TELSTRA / NBN
-	TELSTRA / NBN PIT
<u>—</u> Е	UNDER GROUND POWER
	ELECTRICITY PILLAR
[ ] ]	ELECTRICAL EASEMENT
	LIGHT POLE
	RESTRICTION ON THE USE OF LAND
$\odot$	STREET TREES
	ASSET PROTECTION ZONE BDY

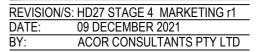
brushcreek.com.au

#### **DISCLAIMER/ NOTES:**

- 1. Contours are based on finished design levels and are subject to construction and Council certification and therefore should not be considered as final or as-built.
- Location of utility services including but not limited to power, water, sewer, communications and gas are subject to 2. construction and supply authority certification and therefore should not be considered as final or as-built.
- Survey information such as boundary dimensions and areas, easements etc are subject to final survey. Purchasers 3 should refer to the deposited plan and 88B instrument contained in the contract for sale of land for further detailed information
- Bushfire and geotechnical classification are provided for convenience. Purchasers should refer to referenced detail 4 specialist reports.
- This preliminary site analysis plan has been collated from various sources of design information and is provided for convenience to assist purchasers in obtaining quotations/ tenders for dwelling construction.
- 6 This document does not form part of the contract of sale of the land
- Anticipated site classification is H2 or better (to be confirmed at completion of construction). 7.

427

- EASEMENT TO DRAIN WATER 2 WIDE RESTRICTION ON USE OF LAND 0.9 WIDE (L) (K)
- (J) - EASEMENT FOR CONSTRUCTION AND MAINTENANCE 0.9 WIDE





## LOT 429, KENAKAN STREET, EDGEWORTH

#### MASTER PLAN

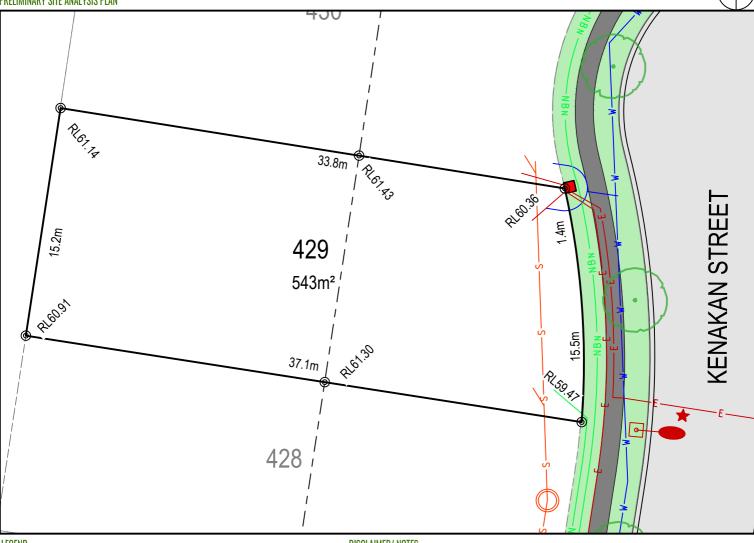
STAGE PLAN







#### PRELIMINARY SITE ANALYSIS PLAN

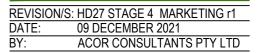


#### LEGEND:

LULIND	
	BATTER INTERFACE
	RETAINING WALL
<b>e</b> 1	STORMWATER PIT
sw	STORMWATER PIPE
s	SEWERMAIN
0	SEWER MAINTENANCE STRUCTURE
<u> </u>	SEWER JUNCTION
v	WATERMAIN
0 × 0	HYDRANT, STOP VALVE
NBN	TELSTRA / NBN
	TELSTRA / NBN PIT
<u> </u>	UNDER GROUND POWER
	ELECTRICITY PILLAR
	ELECTRICAL EASEMENT
	LIGHT POLE
<u> </u>	RESTRICTION ON THE USE OF LAND
$\odot$	STREET TREES
	ASSET PROTECTION ZONE BDY

#### **DISCLAIMER/ NOTES:**

- 1. Contours are based on finished design levels and are subject to construction and Council certification and therefore should not be considered as final or as-built.
- Location of utility services including but not limited to power, water, sewer, communications and gas are subject to 2 construction and supply authority certification and therefore should not be considered as final or as-built.
- Survey information such as boundary dimensions and areas, easements etc are subject to final survey. Purchasers 3 should refer to the deposited plan and 88B instrument contained in the contract for sale of land for further detailed information
- Bushfire and geotechnical classification are provided for convenience. Purchasers should refer to referenced detail 4 specialist reports.
- This preliminary site analysis plan has been collated from various sources of design information and is provided for convenience to assist purchasers in obtaining quotations/ tenders for dwelling construction
- 6 This document does not form part of the contract of sale of the land
- Anticipated site classification is H2 or better (to be confirmed at completion of construction) 7.
- (L) (K)
- EASEMENT TO DRAIN WATER 2 WIDE RESTRICTION ON USE OF LAND 0.9 WIDE
- (J) - EASEMENT FOR CONSTRUCTION AND MAINTENANCE 0.9 WIDE



A QUALITY MCCLOY

GROUP **PROJEC1** 



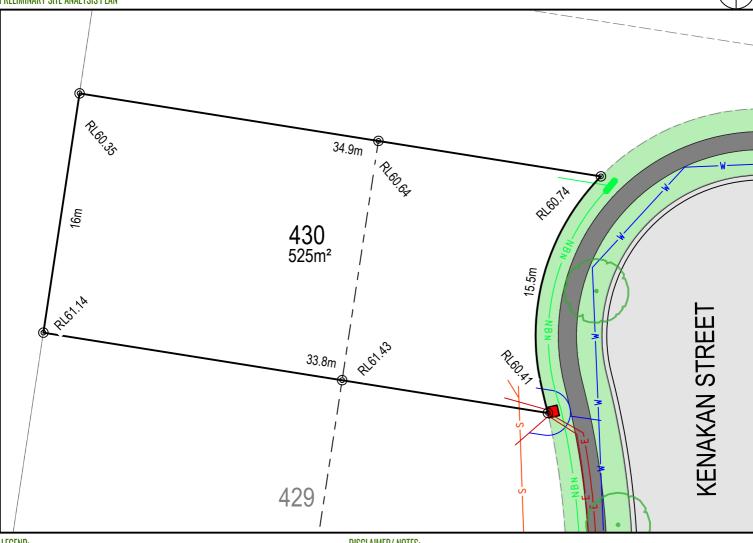
## LOT 430, KENAKAN STREET, EDGEWORTH

#### MASTER PLAN

STAGE PLAN



### PRELIMINARY SITE ANALYSIS PLAN



#### LEGEND:

	BATTER INTERFACE
	RETAINING WALL
<b>C</b> P <b>D</b>	STORMWATER PIT
SW	STORMWATER PIPE
s	SEWERMAIN
0	SEWER MAINTENANCE STRUCTURE
<u> </u>	SEWER JUNCTION
v	WATERMAIN
ο×	HYDRANT, STOP VALVE
	TELSTRA / NBN
	TELSTRA / NBN PIT
E	UNDER GROUND POWER
	ELECTRICITY PILLAR
I	ELECTRICAL EASEMENT
	LIGHT POLE
	RESTRICTION ON THE USE OF LAND
$\odot$	STREET TREES
	ASSET PROTECTION ZONE BDY

#### **DISCLAIMER/ NOTES:**

- 1. Contours are based on finished design levels and are subject to construction and Council certification and therefore should not be considered as final or as-built.
- Location of utility services including but not limited to power, water, sewer, communications and gas are subject to 2. construction and supply authority certification and therefore should not be considered as final or as-built.
- Survey information such as boundary dimensions and areas, easements etc are subject to final survey. Purchasers 3 should refer to the deposited plan and 88B instrument contained in the contract for sale of land for further detailed information
- Bushfire and geotechnical classification are provided for convenience. Purchasers should refer to referenced detail 4 specialist reports.
- This preliminary site analysis plan has been collated from various sources of design information and is provided for convenience to assist purchasers in obtaining quotations/ tenders for dwelling construction
- 6 This document does not form part of the contract of sale of the land
- Anticipated site classification is H2 or better (to be confirmed at completion of construction) 7.
- (L) (K)
- EASEMENT TO DRAIN WATER 2 WIDE RESTRICTION ON USE OF LAND 0.9 WIDE
- (J)

