

LOT 401, TARKALONG STREET, EDGEWORTH

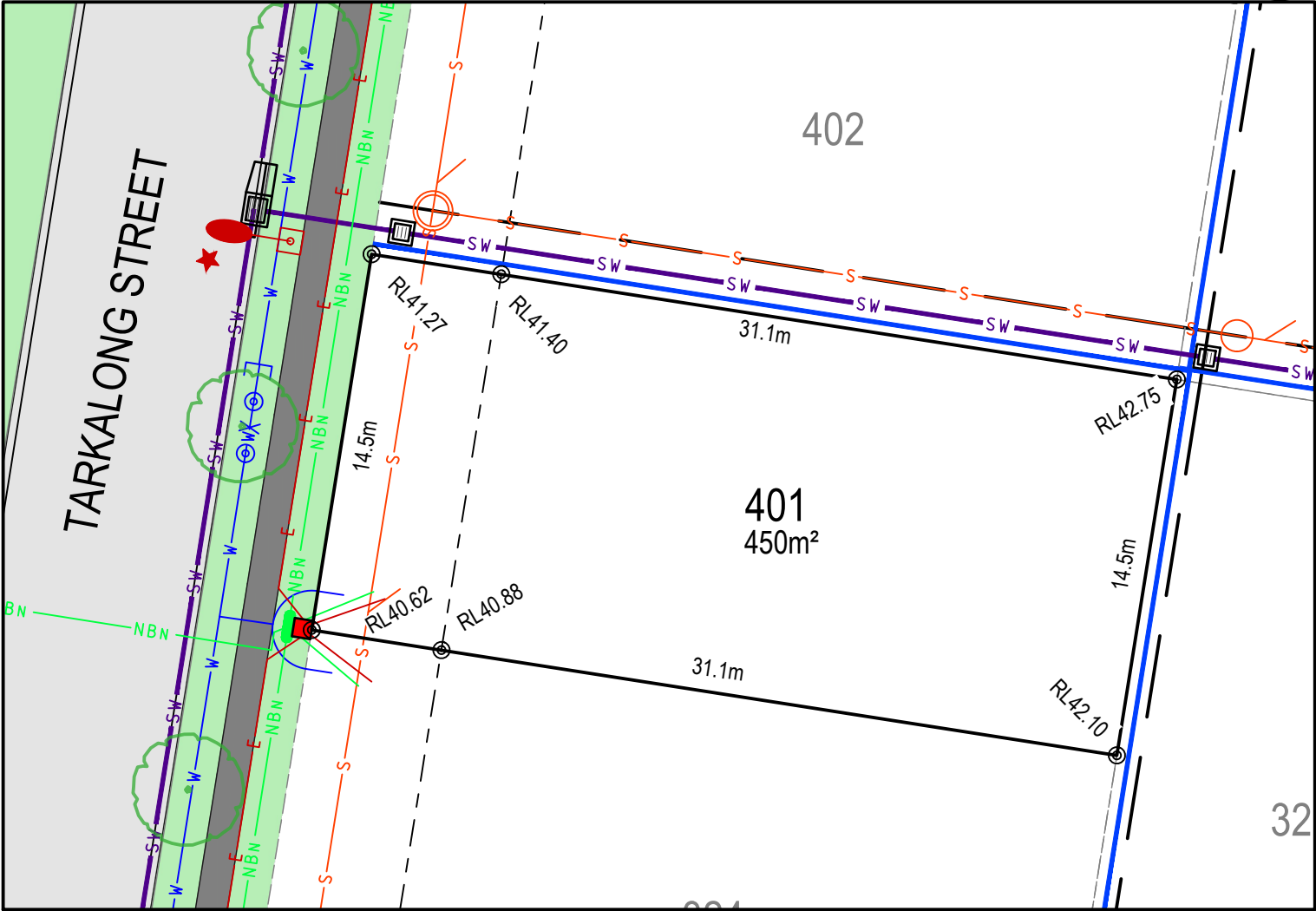
MASTER PLAN



STAGE PLAN



PRELIMINARY SITE ANALYSIS PLAN



- LEGEND:**
- BATTER INTERFACE
 - RETAINING WALL
 - STORMWATER PIT
 - STORMWATER PIPE
 - SEWERMAIN
 - SEWER MAINTENANCE STRUCTURE
 - SEWER JUNCTION
 - WATERMAIN
 - HYDRANT, STOP VALVE
 - TELSTRA / NBN
 - TELSTRA / NBN PIT
 - UNDER GROUND POWER
 - ELECTRICITY PILLAR
 - ELECTRICAL EASEMENT
 - LIGHT POLE
 - RESTRICTION ON THE USE OF LAND
 - STREET TREES
 - ASSET PROTECTION ZONE BDY

DISCLAIMER/ NOTES:

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- Anticipated site classification is H2 or better (to be confirmed at completion of construction).

- (L) - EASEMENT TO DRAIN WATER 2 WIDE
(K) - RESTRICTION ON USE OF LAND 0.9 WIDE
(J) - EASEMENT FOR CONSTRUCTION AND MAINTENANCE 0.9 WIDE

REVISION/S: HD27 STAGE 4 MARKETING r1
DATE: 09 DECEMBER 2021
BY: ACOR CONSULTANTS PTY LTD

LOT 402, TARKALONG STREET, EDGEWORTH

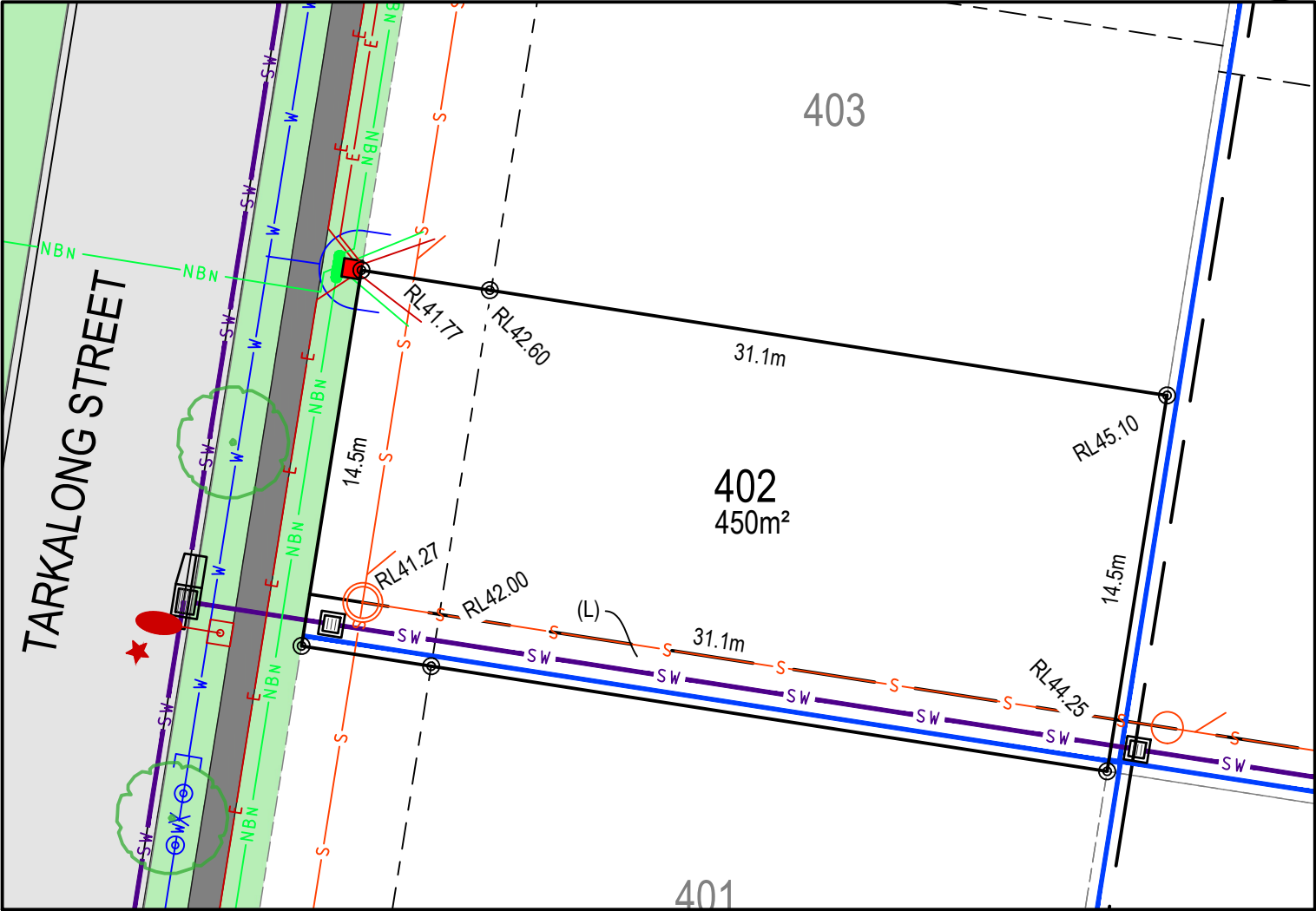
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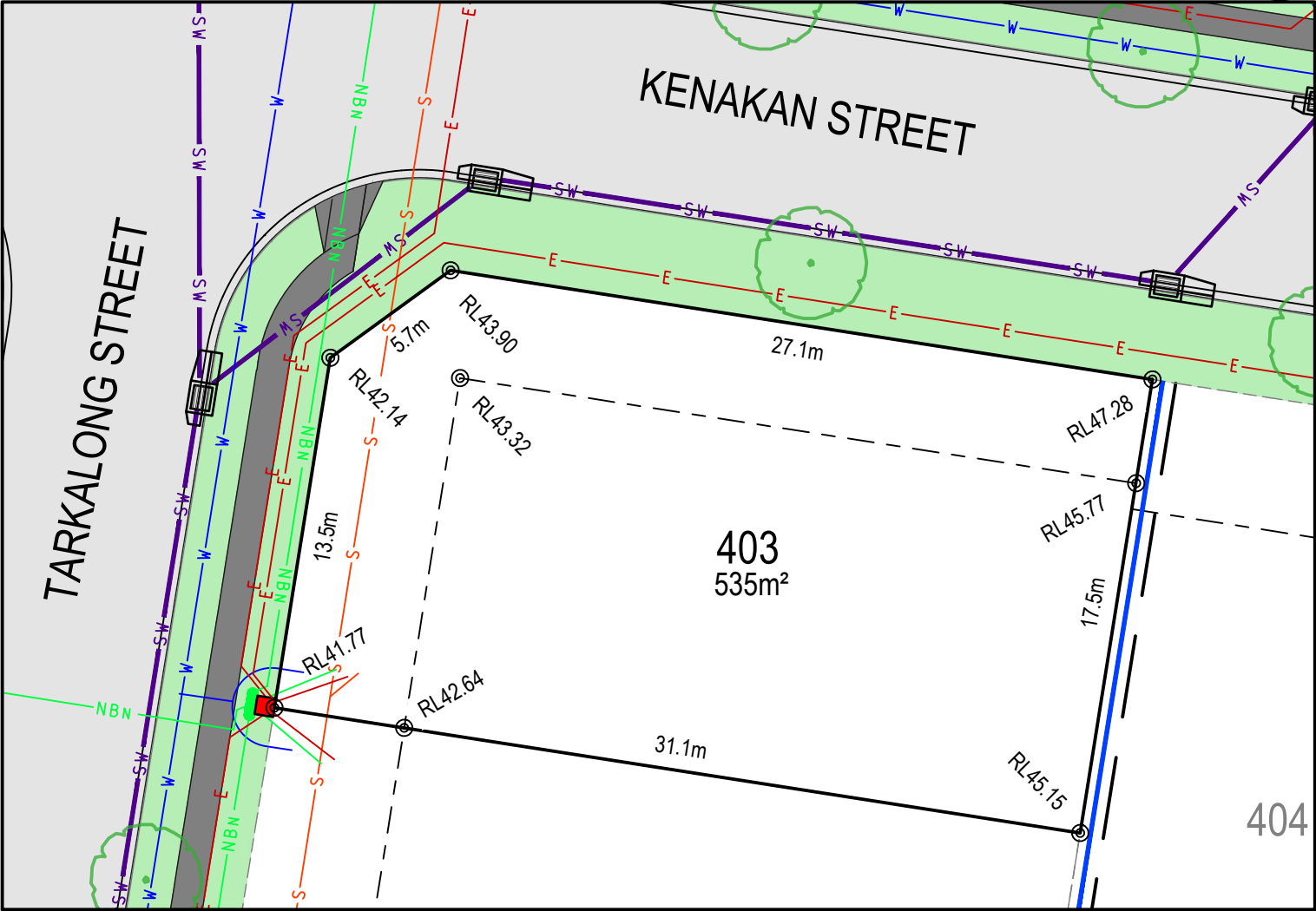
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 - W WATERMAIN
 - O X HYDRANT, STOP VALVE
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LOT 404, KENAKAN STREET, EDGEWORTH

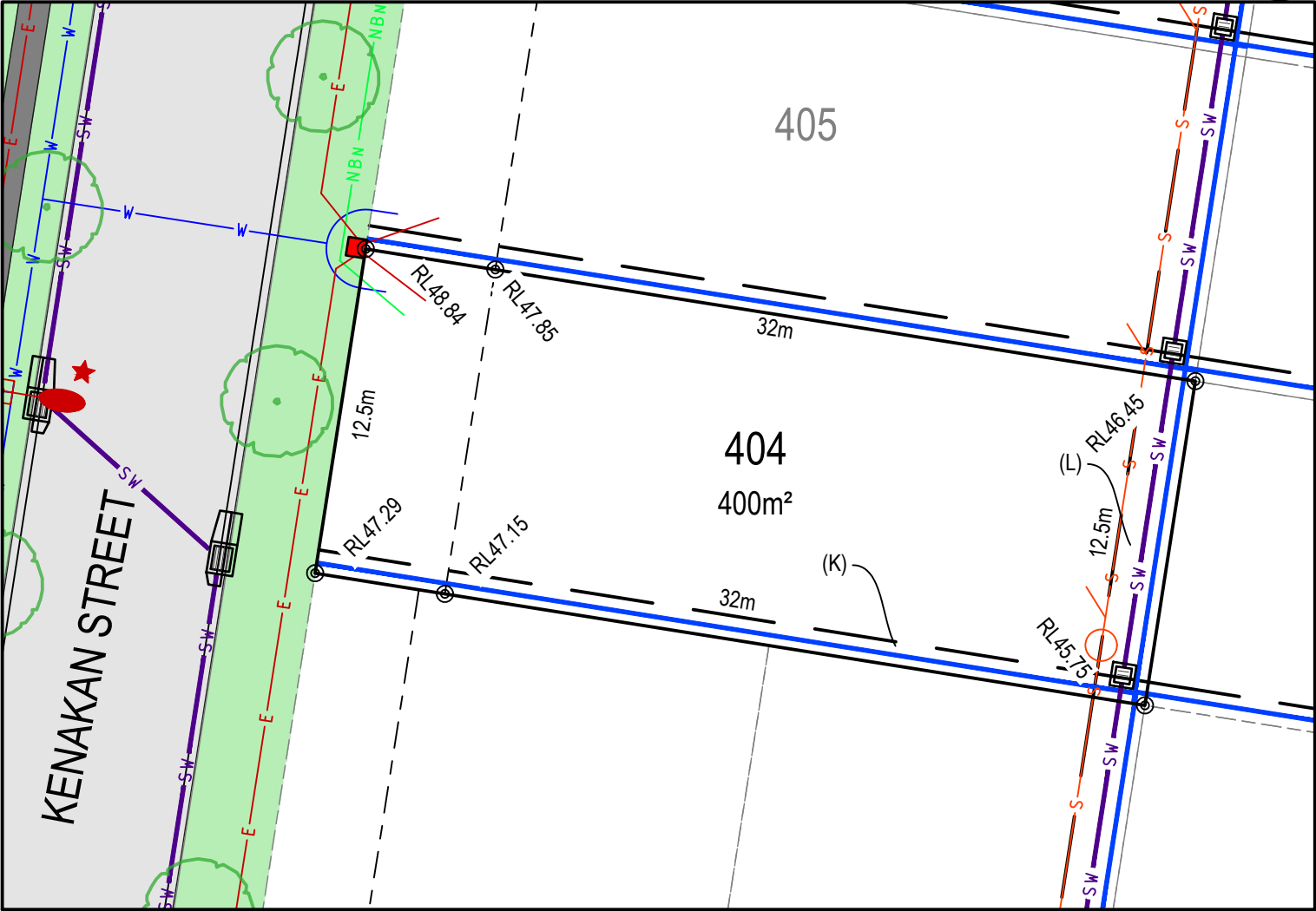
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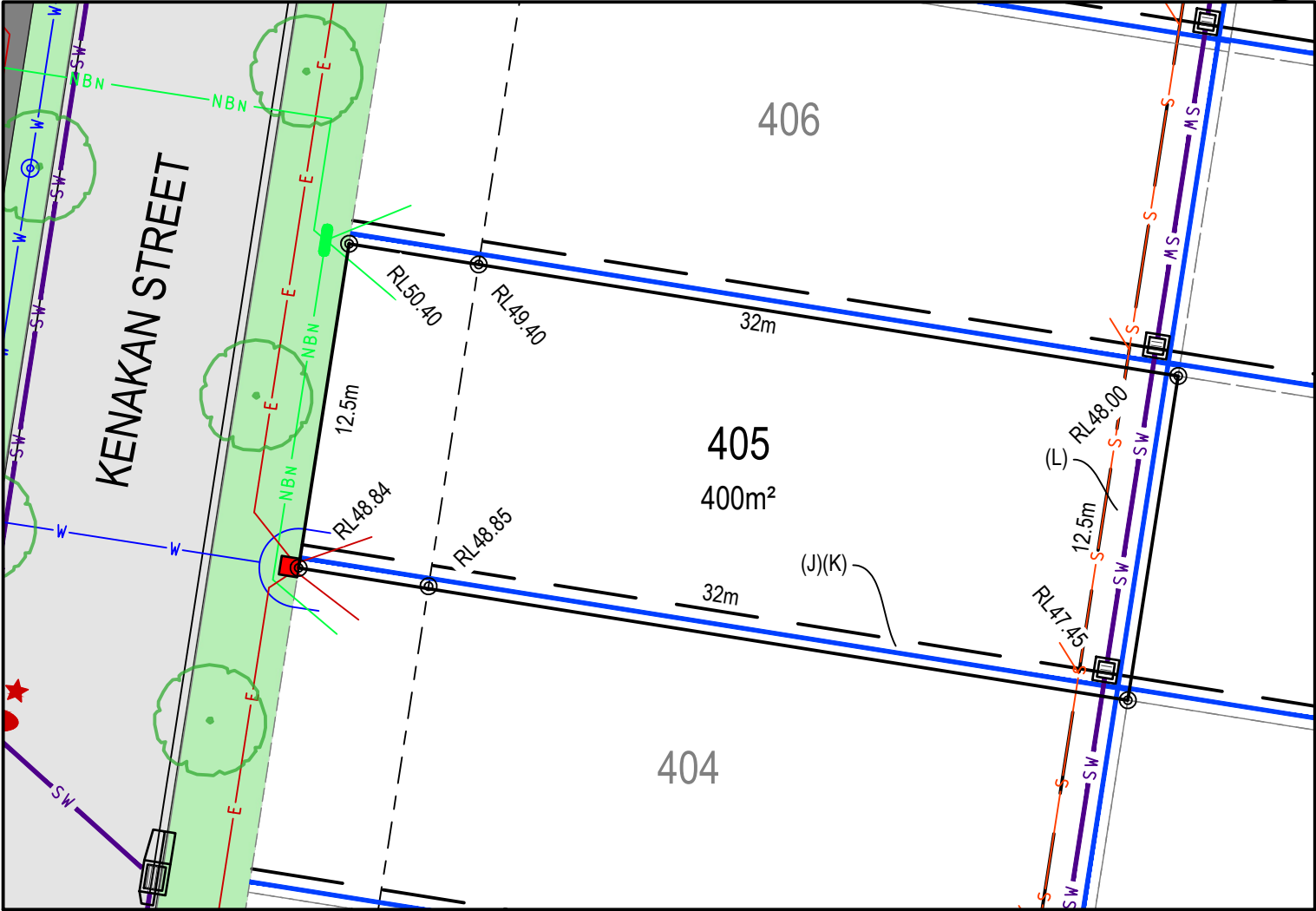
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- LEGEND:**
- BATTER INTERFACE
 - RETAINING WALL
 - STORMWATER PIT
 - SW STORMWATER PIPE
 - S SEWERMAIN
 - S SEWER MAINTENANCE STRUCTURE
 - S SEWER JUNCTION
 - W WATERMAIN
 - O X HYDRANT, STOP VALVE
 - NBN TELSTRA / NBN
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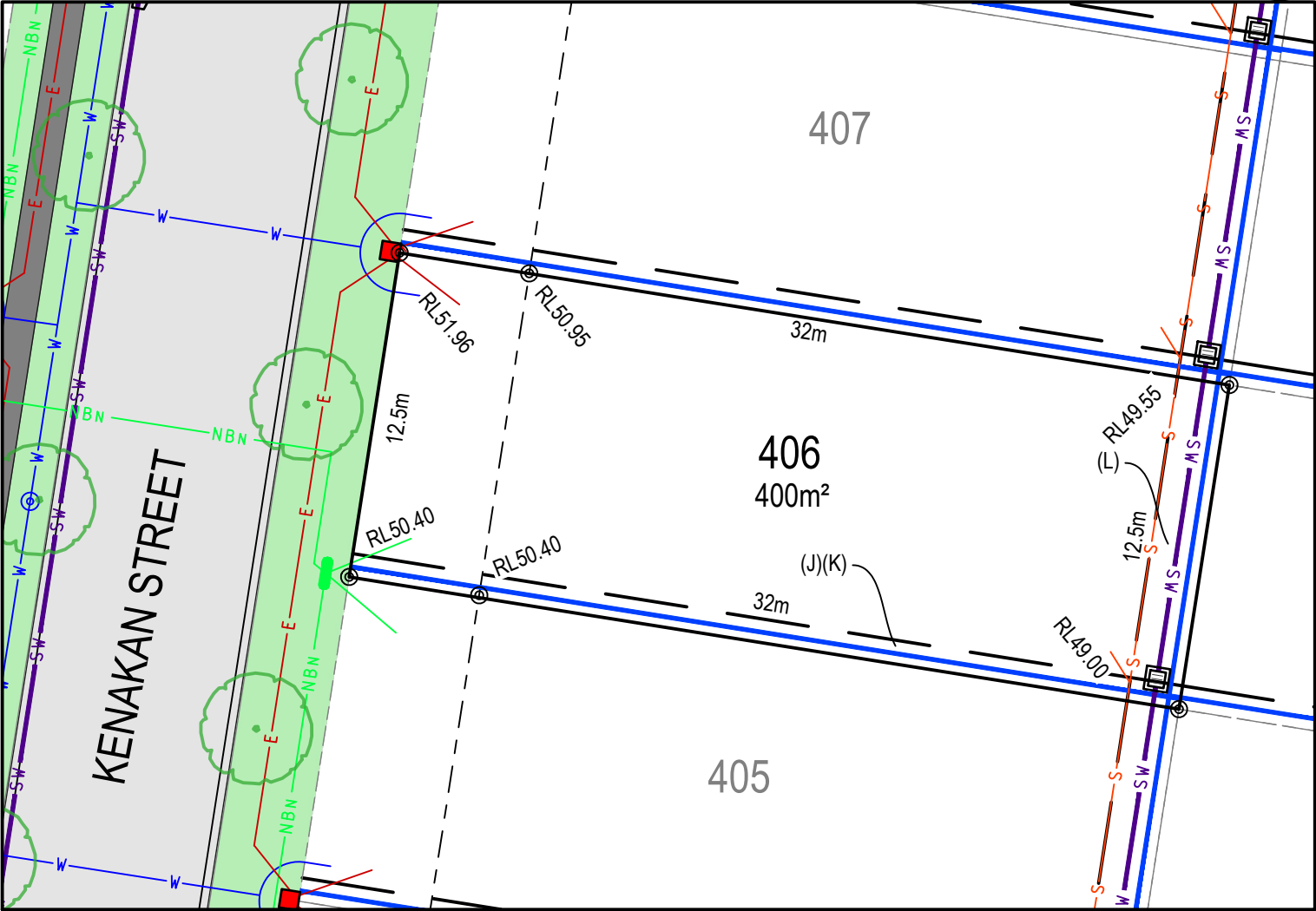
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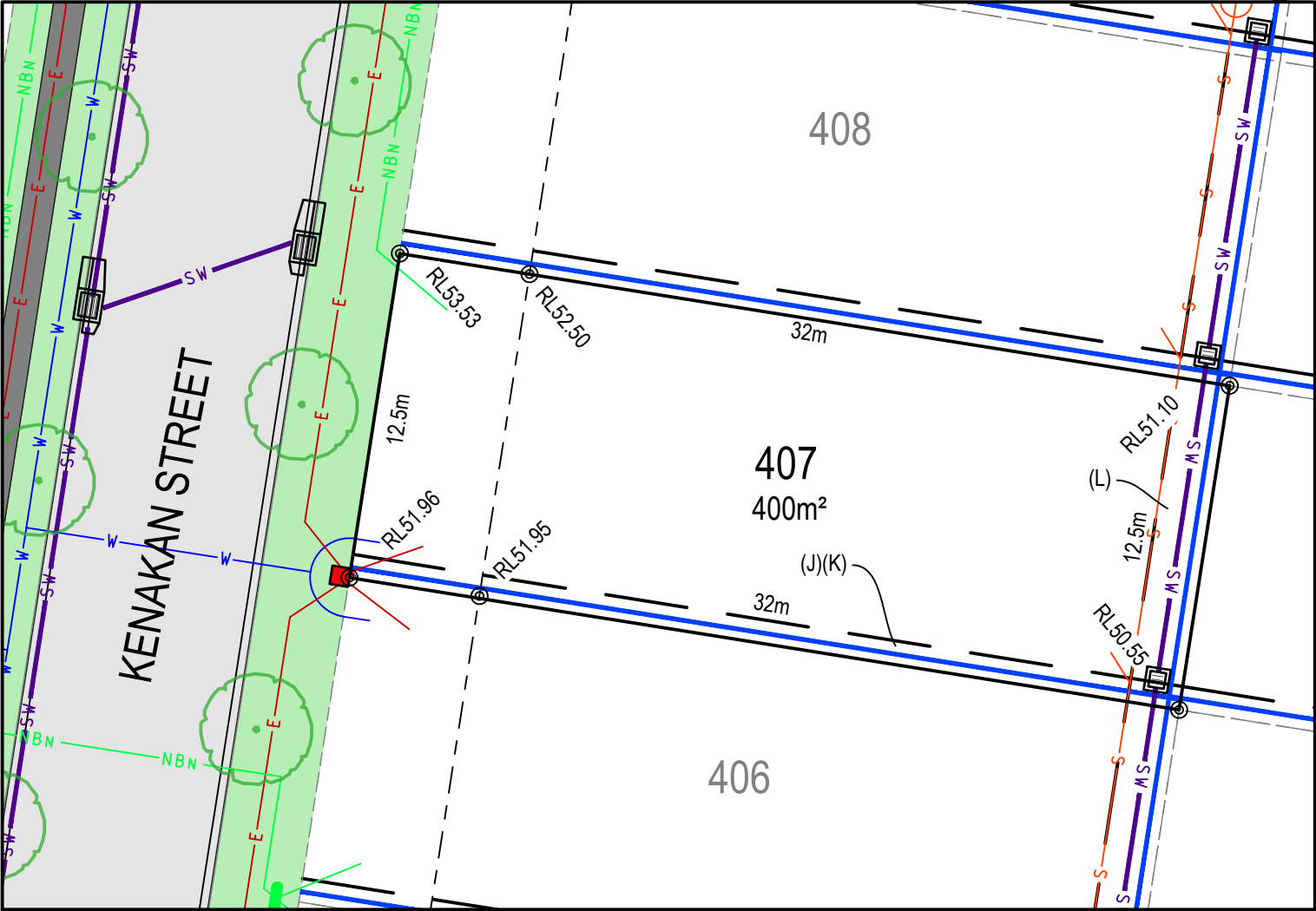
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 - RETAINING WALL
 - STORMWATER PIT
 - SW STORMWATER PIPE
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 - W WATERMAIN
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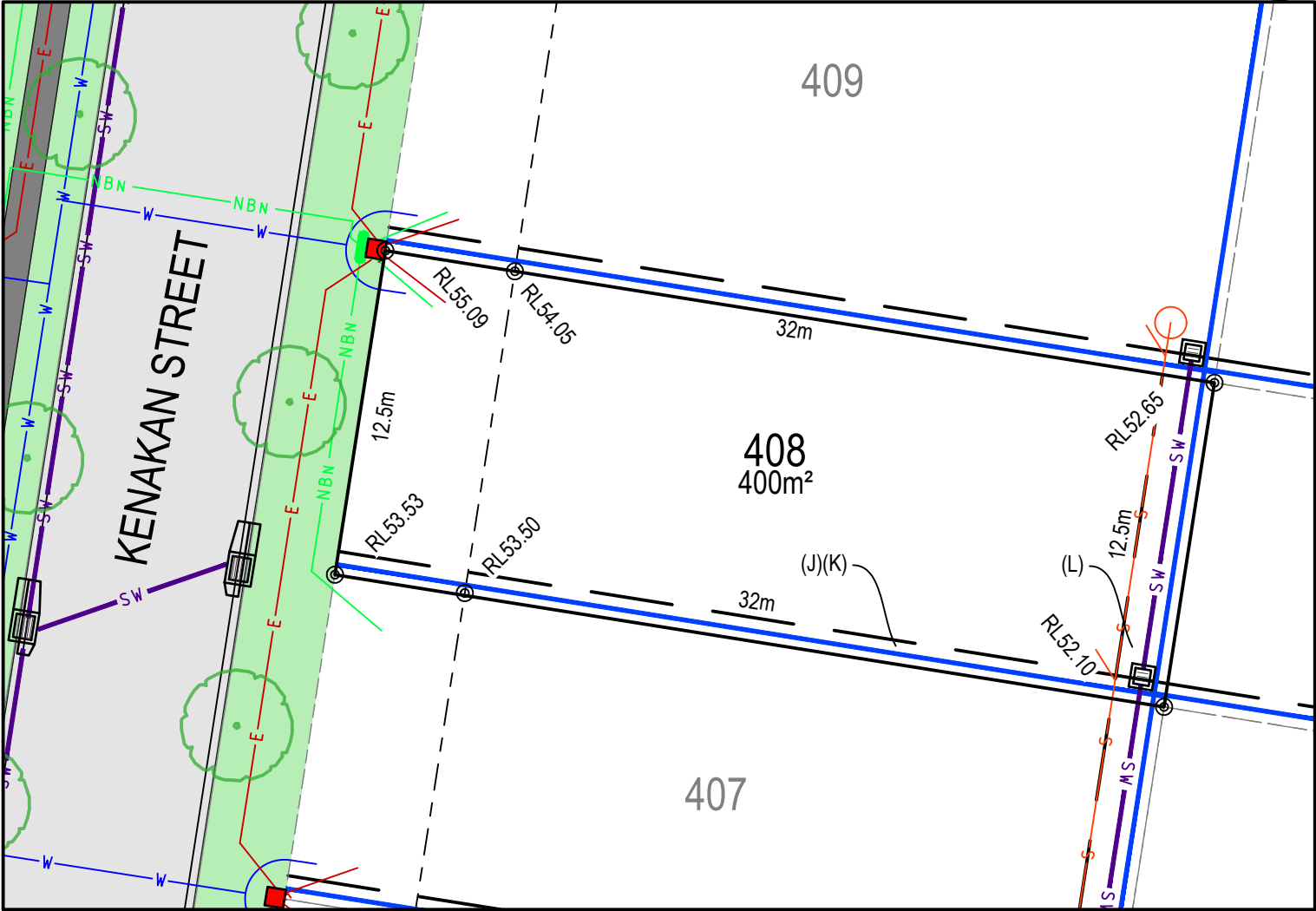
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- LEGEND:**
- BATTER INTERFACE
 - RETAINING WALL
 - STORMWATER PIT
 - SW STORMWATER PIPE
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 - S SEWER JUNCTION
 - W WATERMAIN
 - O X HYDRANT, STOP VALVE
 - NBN TELSTRA / NBN
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LOT 409, KENAKAN STREET, EDGEWORTH

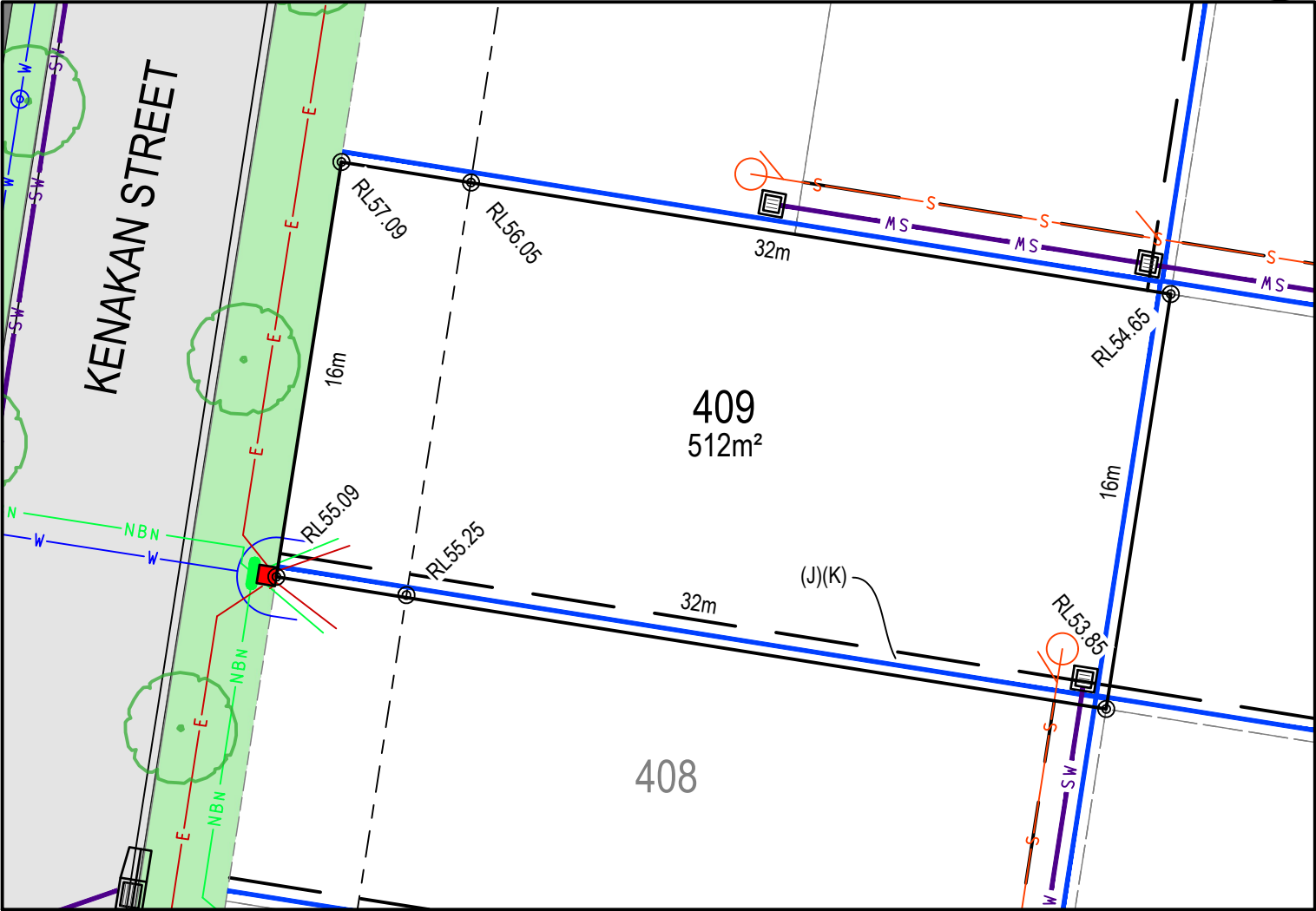
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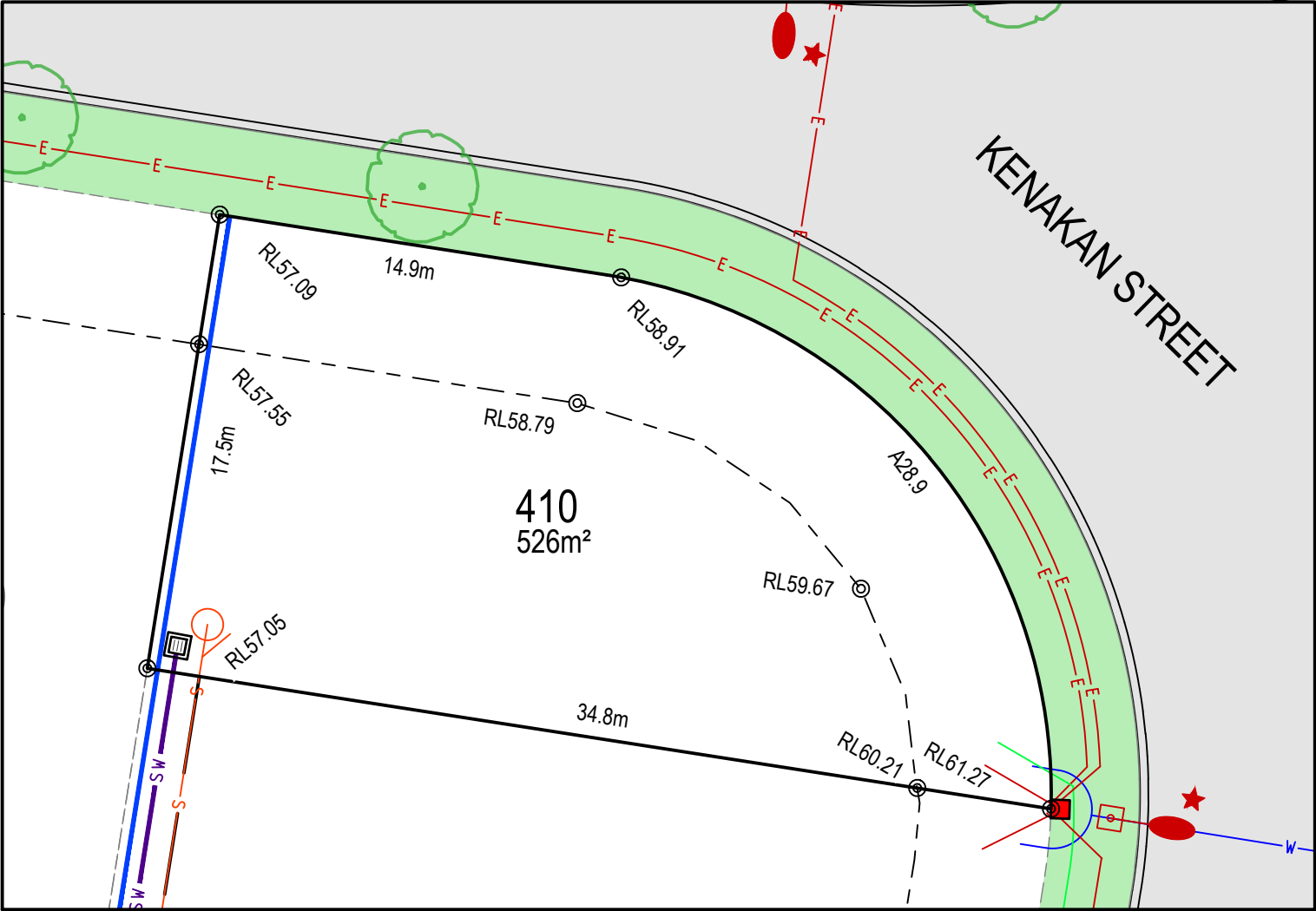
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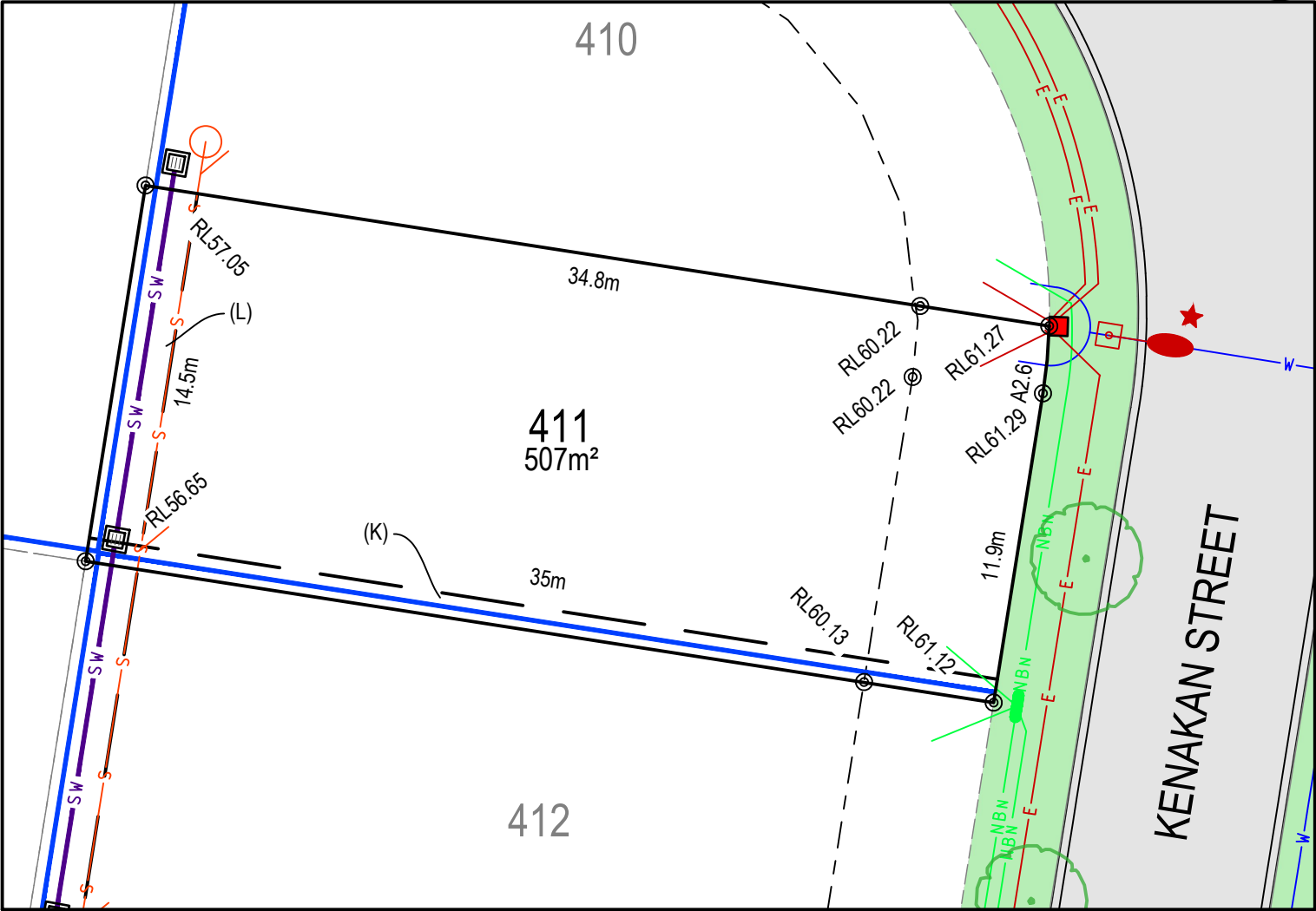
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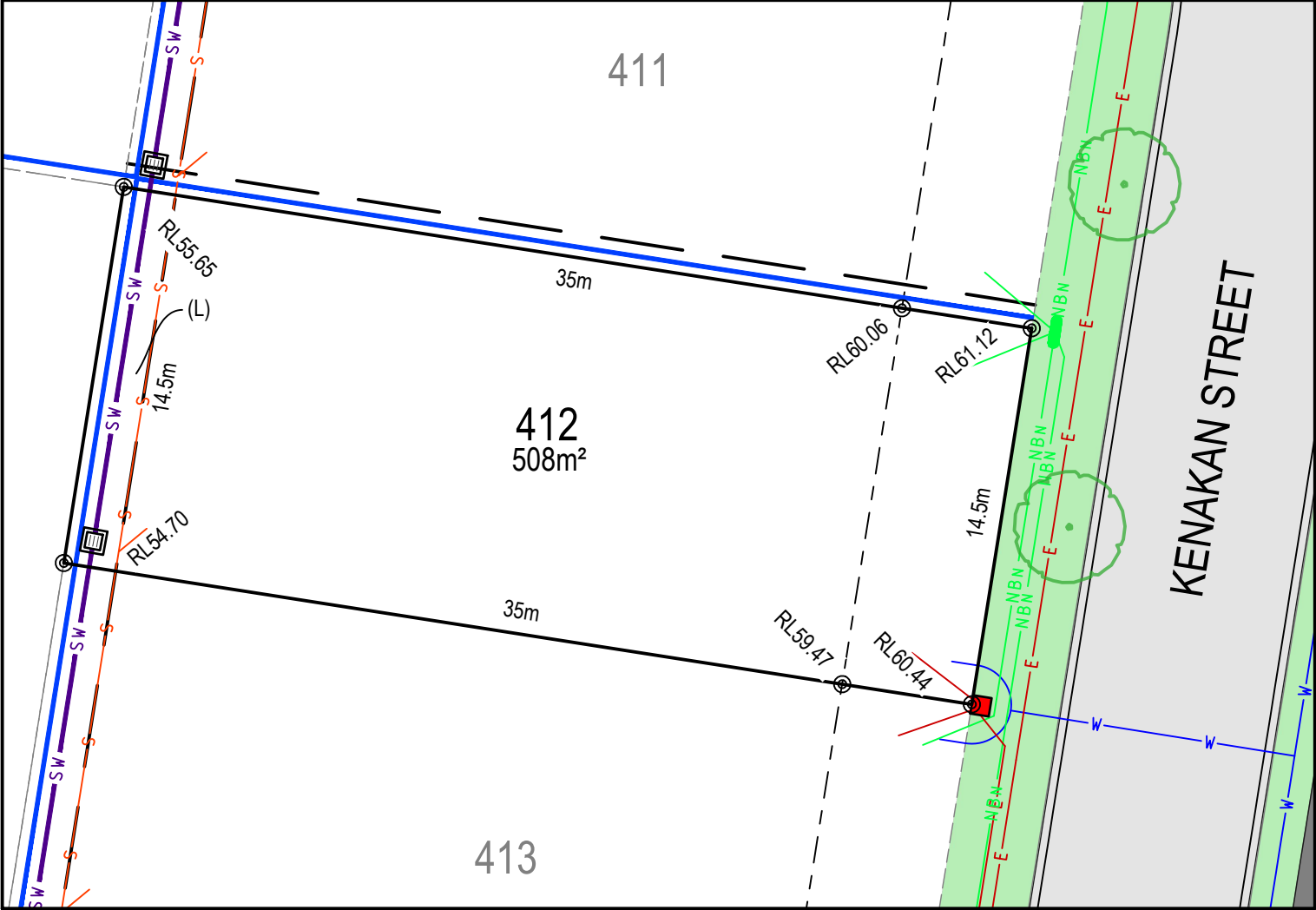
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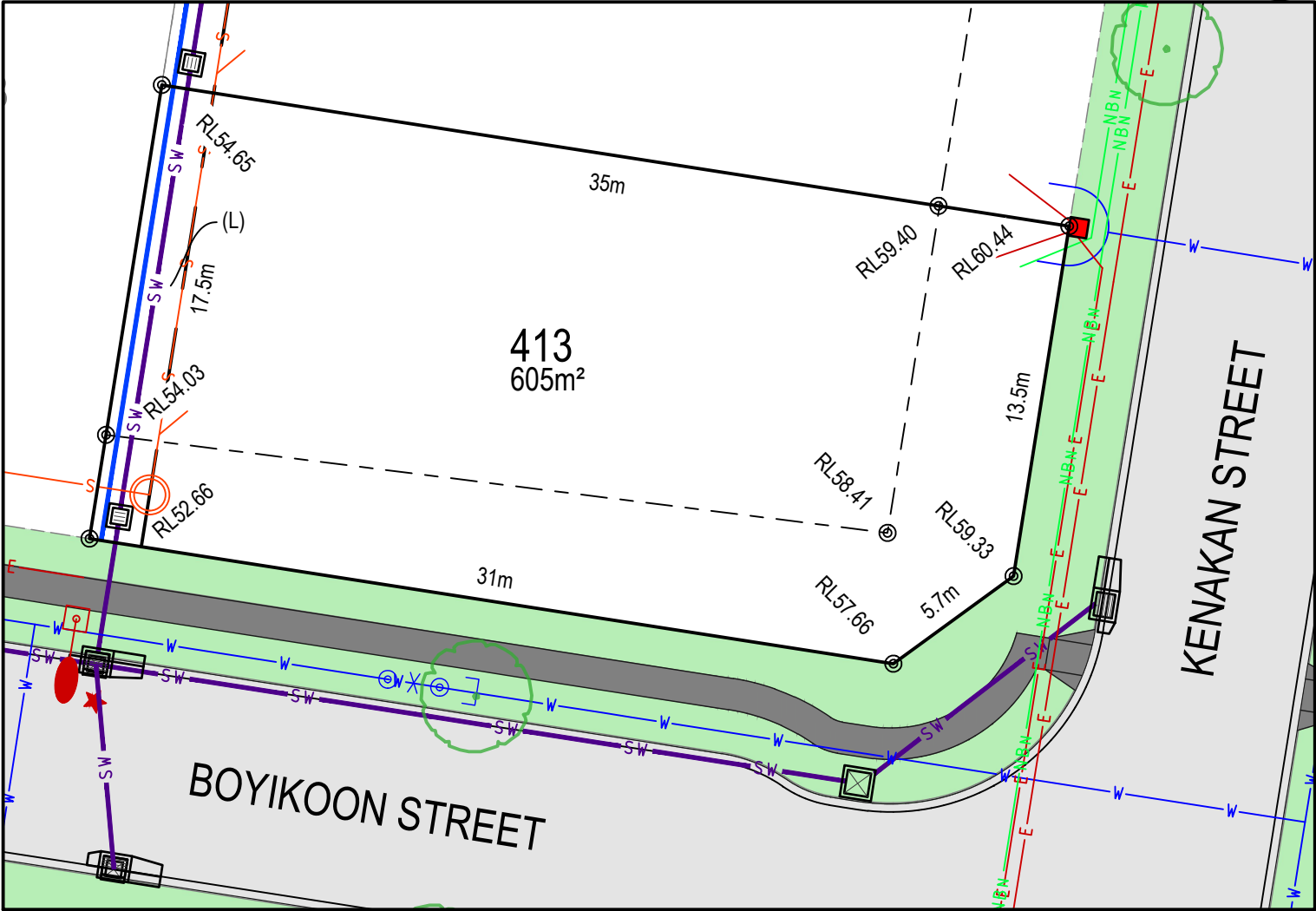
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- (L) - EASEMENT TO DRAIN WATER 2 WIDE
(K) - RESTRICTION ON USE OF LAND 0.9 WIDE
(J) - EASEMENT FOR CONSTRUCTION AND MAINTENANCE 0.9 WIDE

REVISION/S: HD27 STAGE 4 MARKETING r1
DATE: 09 DECEMBER 2021
BY: ACOR CONSULTANTS PTY LTD

LOT 414, KENAKAN STREET, EDGEWORTH

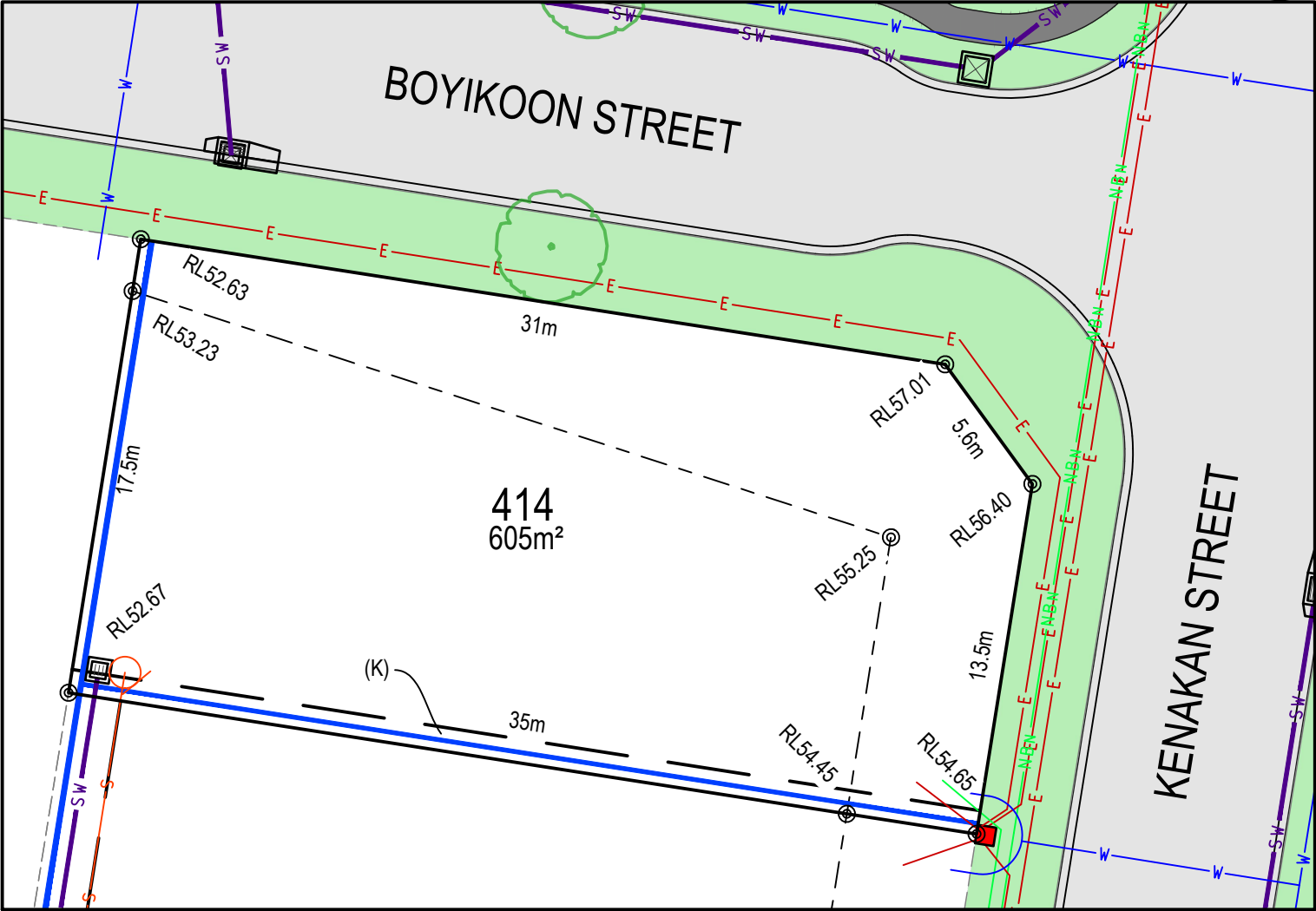
MASTER PLAN



STAGE PLAN



PRELIMINARY SITE ANALYSIS PLAN



- LEGEND:**
- BATTER INTERFACE
 - RETAINING WALL
 - STORMWATER PIT
 - SW STORMWATER PIPE
 - S SEWERMAIN
 - S SEWER MAINTENANCE STRUCTURE
 - S SEWER JUNCTION
 - W WATERMAIN
 - O X HYDRANT, STOP VALVE
 - NBN TELSTRA / NBN
 - TELSTRA / NBN PIT
 - E UNDER GROUND POWER
 - E ELECTRICITY PILLAR
 - ELECTRICAL EASEMENT
 - LIGHT POLE
 - RESTRICTION ON THE USE OF LAND
 - STREET TREES
 - ASSET PROTECTION ZONE BDY

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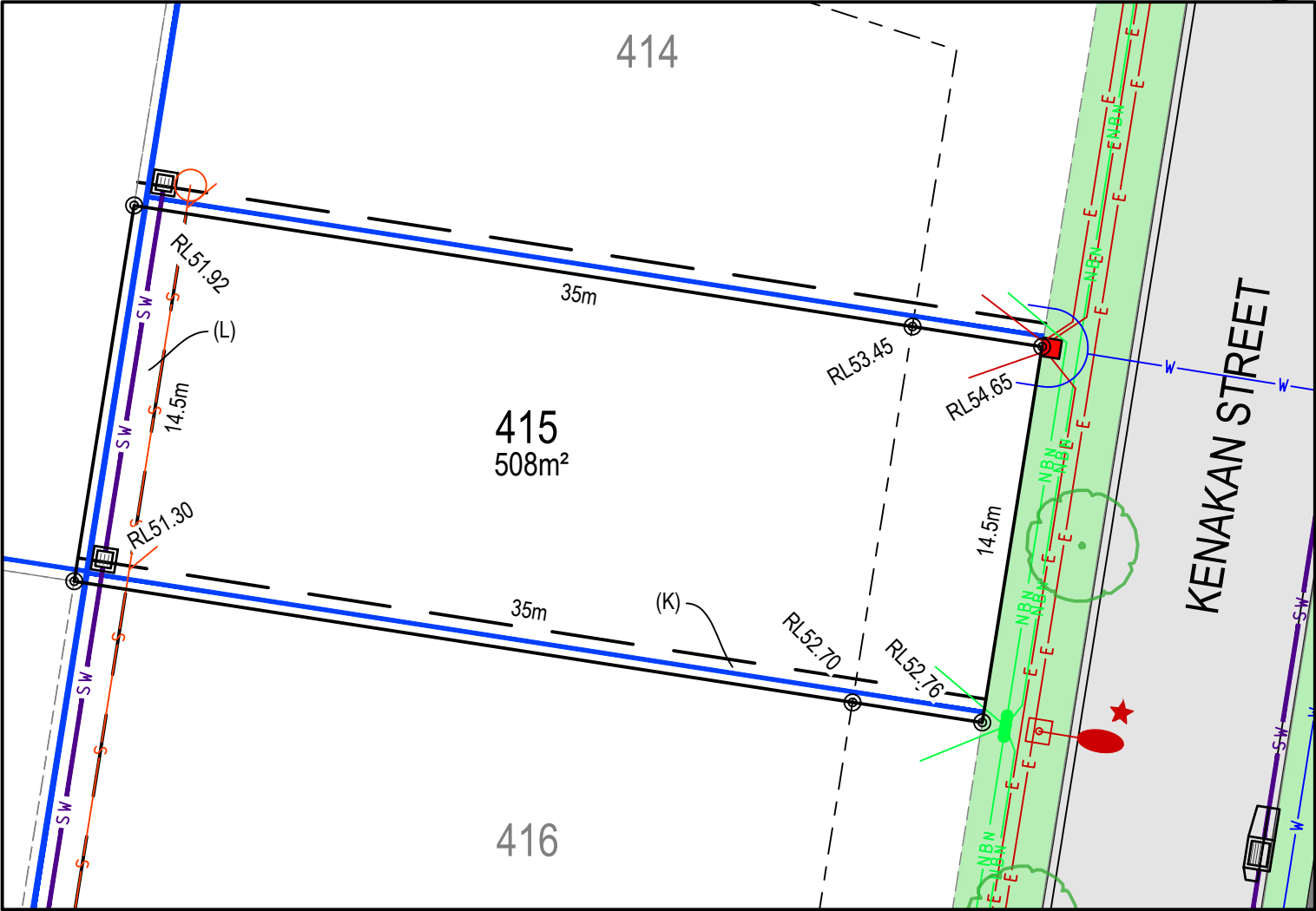
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PRELIMINARY SITE ANALYSIS PLAN



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 - STORMWATER PIT
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 - W WATERMAIN
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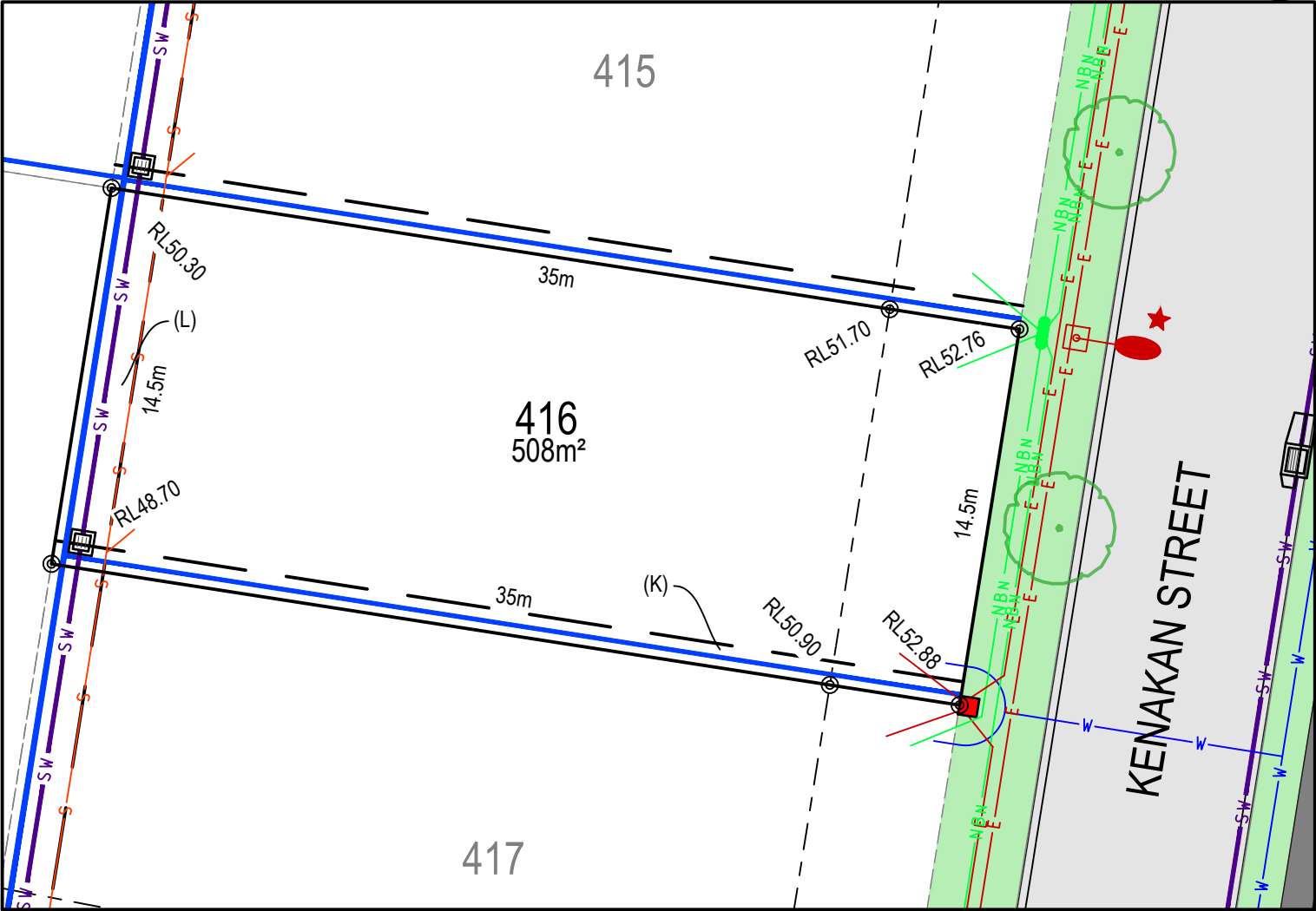
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STAGE PLAN



PRELIMINARY SITE ANALYSIS PLAN



- LEGEND:**
- BATTER INTERFACE
 - RETAINING WALL
 - STORMWATER PIT
 - STORMWATER PIPE
 - SEWERMAIN
 - SEWER MAINTENANCE STRUCTURE
 - SEWER JUNCTION
 - WATERMAIN
 - HYDRANT, STOP VALVE
 - TELSTRA / NBN
 - TELSTRA / NBN PIT
 - UNDER GROUND POWER
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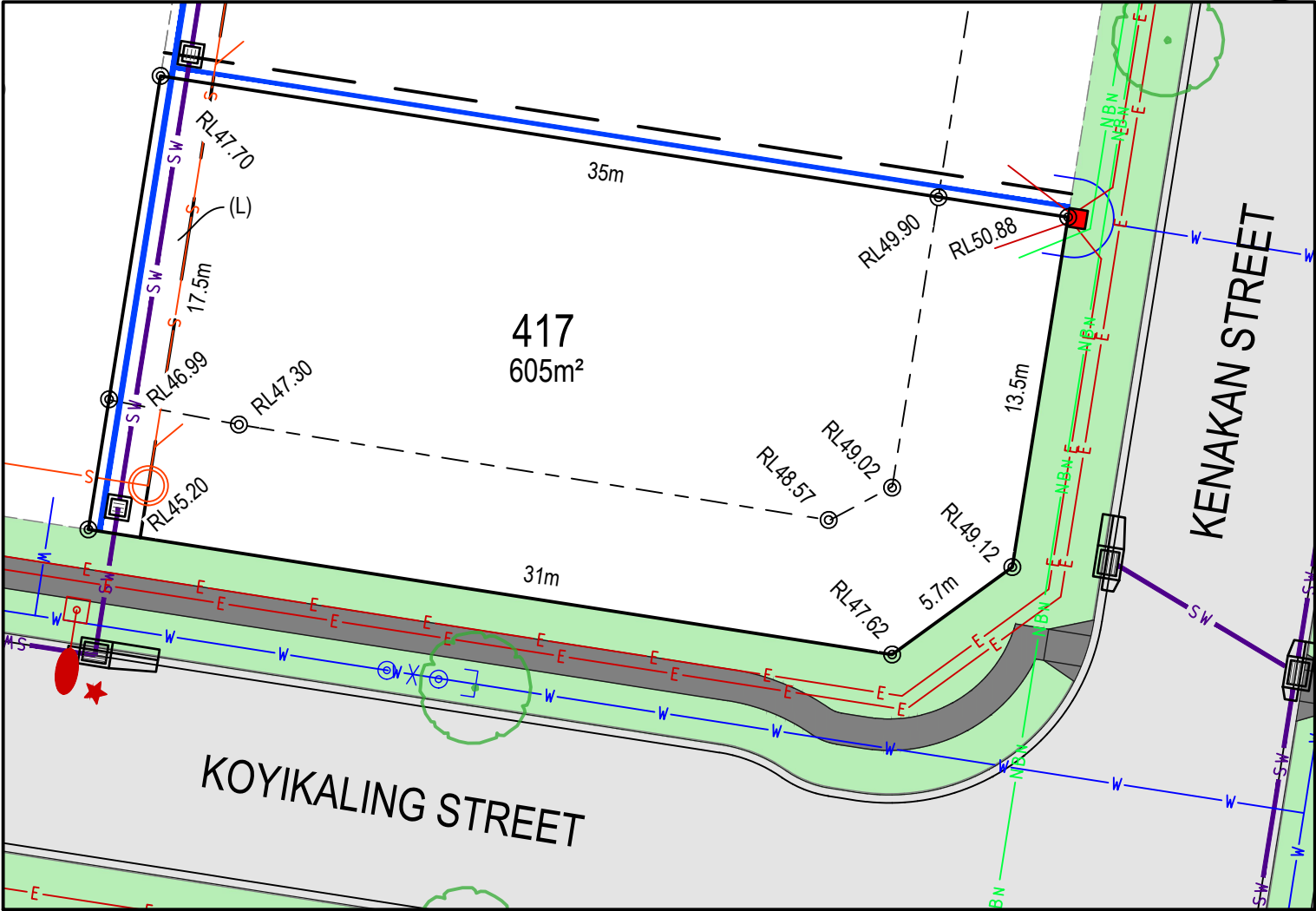
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PRELIMINARY SITE ANALYSIS PLAN



- LEGEND:**
- BATTER INTERFACE
 - RETAINING WALL
 - STORMWATER PIT
 - SW STORMWATER PIPE
 - S SEWERMAIN
 - SEWER MAINTENANCE STRUCTURE
 - S SEWER JUNCTION
 - W WATERMAIN
 - O X HYDRANT, STOP VALVE
 - NBN TELSTRA / NBN
 - TELSTRA / NBN PIT
 - E UNDER GROUND POWER
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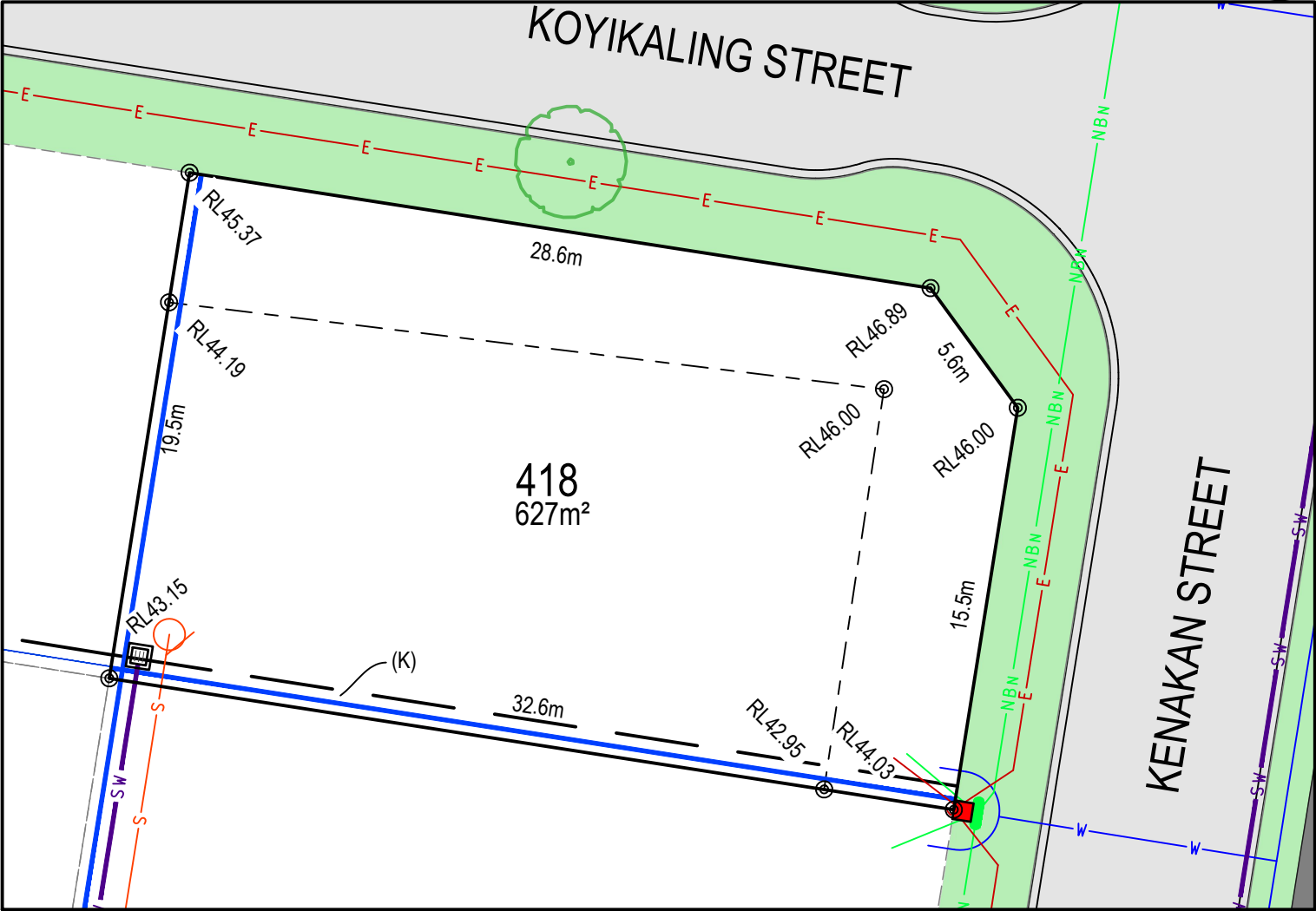
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PRELIMINARY SITE ANALYSIS PLAN



- LEGEND:**
- BATTER INTERFACE
 - RETAINING WALL
 - STORMWATER PIT
 - SV --- STORMWATER PIPE
 - S --- SEWERMAIN
 - O --- SEWER MAINTENANCE STRUCTURE
 - S --- SEWER JUNCTION
 - W --- WATERMAIN
 - O X --- HYDRANT, STOP VALVE
 - NBN --- TELSTRA / NBN
 - TELSTRA / NBN PIT
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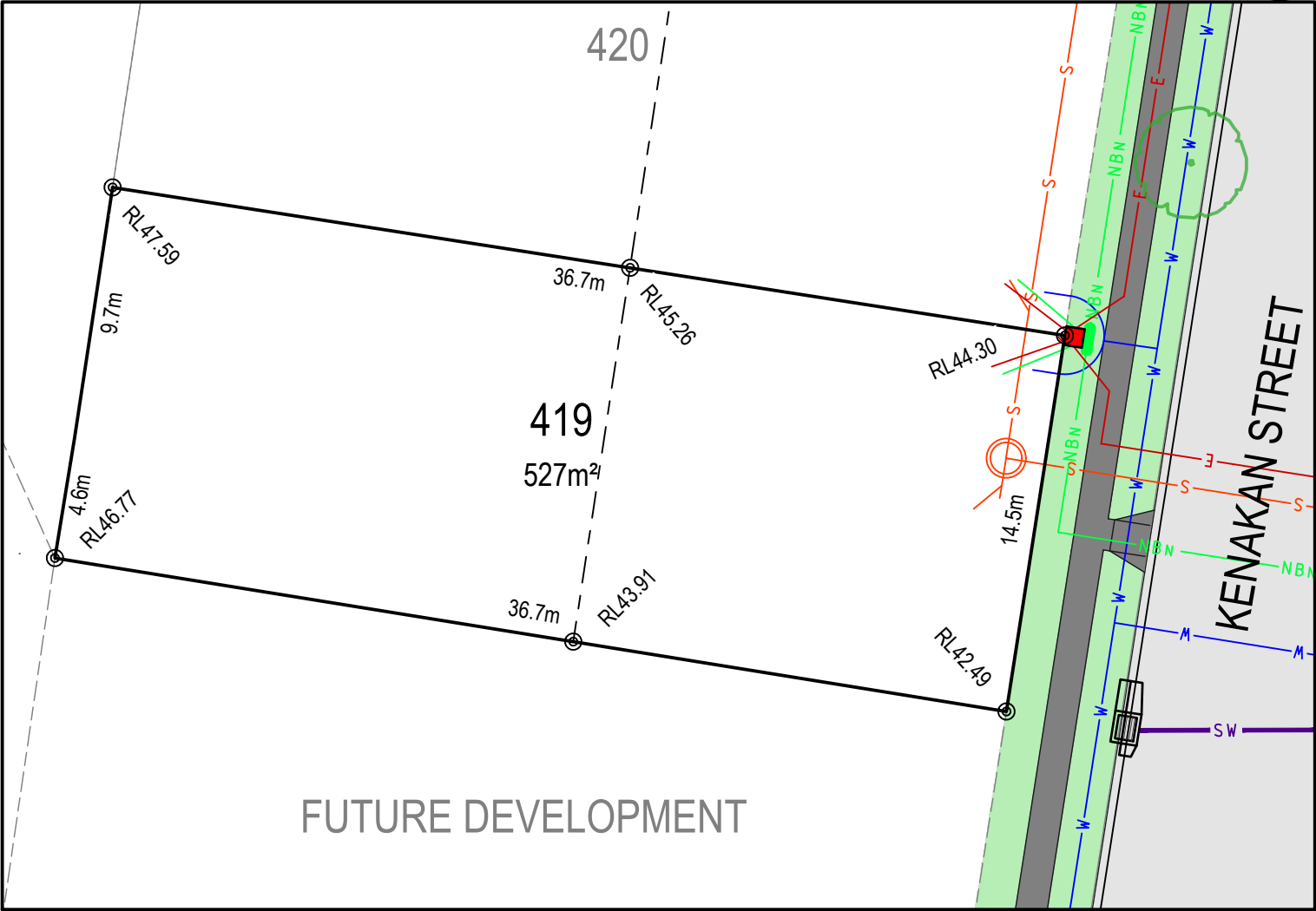
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STAGE PLAN



PRELIMINARY SITE ANALYSIS PLAN



- LEGEND:**
- BATTER INTERFACE
 - RETAINING WALL
 - STORMWATER PIT
 - SV — STORMWATER PIPE
 - S — SEWERMAIN
 - S — SEWER MAINTENANCE STRUCTURE
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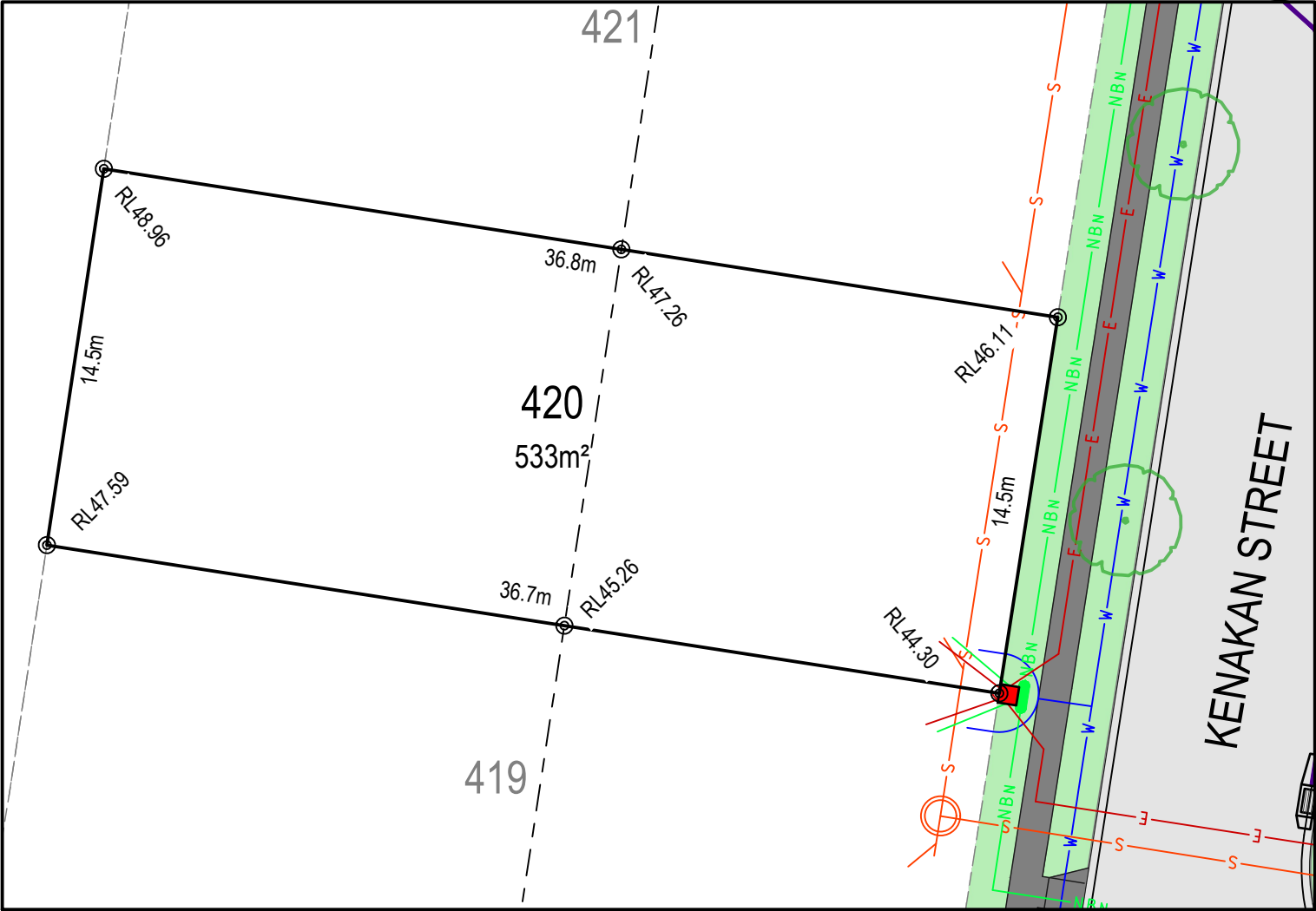
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- LEGEND:**
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 - STORMWATER PIT
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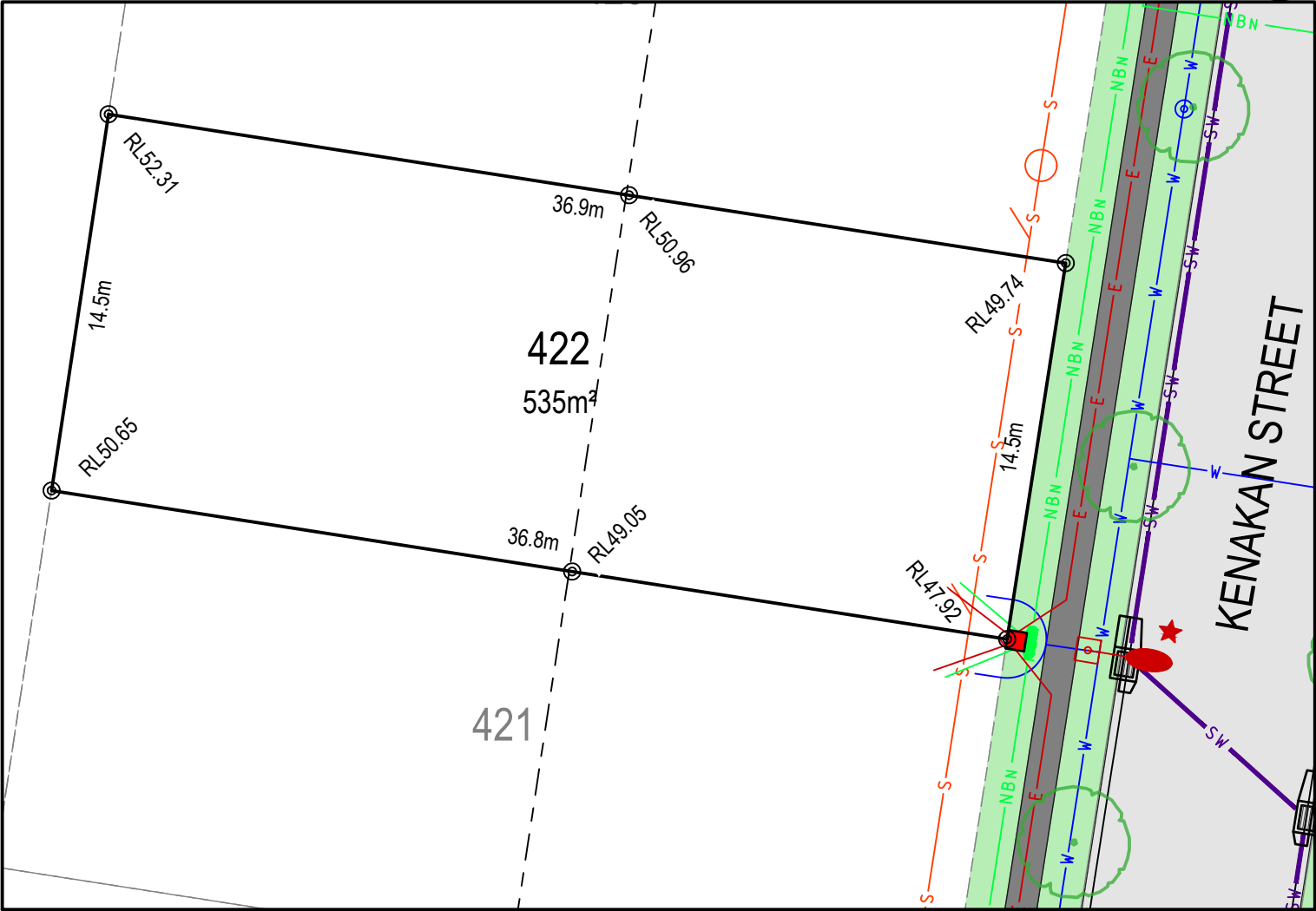
MASTER PLAN



STAGE PLAN



PRELIMINARY SITE ANALYSIS PLAN



- LEGEND:**
- BATTER INTERFACE
 - RETAINING WALL
 - STORMWATER PIT
 - STORMWATER PIPE
 - SEWERMAIN
 - SEWER MAINTENANCE STRUCTURE
 - SEWER JUNCTION
 - WATERMAIN
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 - TELSTRA / NBN
 - TELSTRA / NBN PIT
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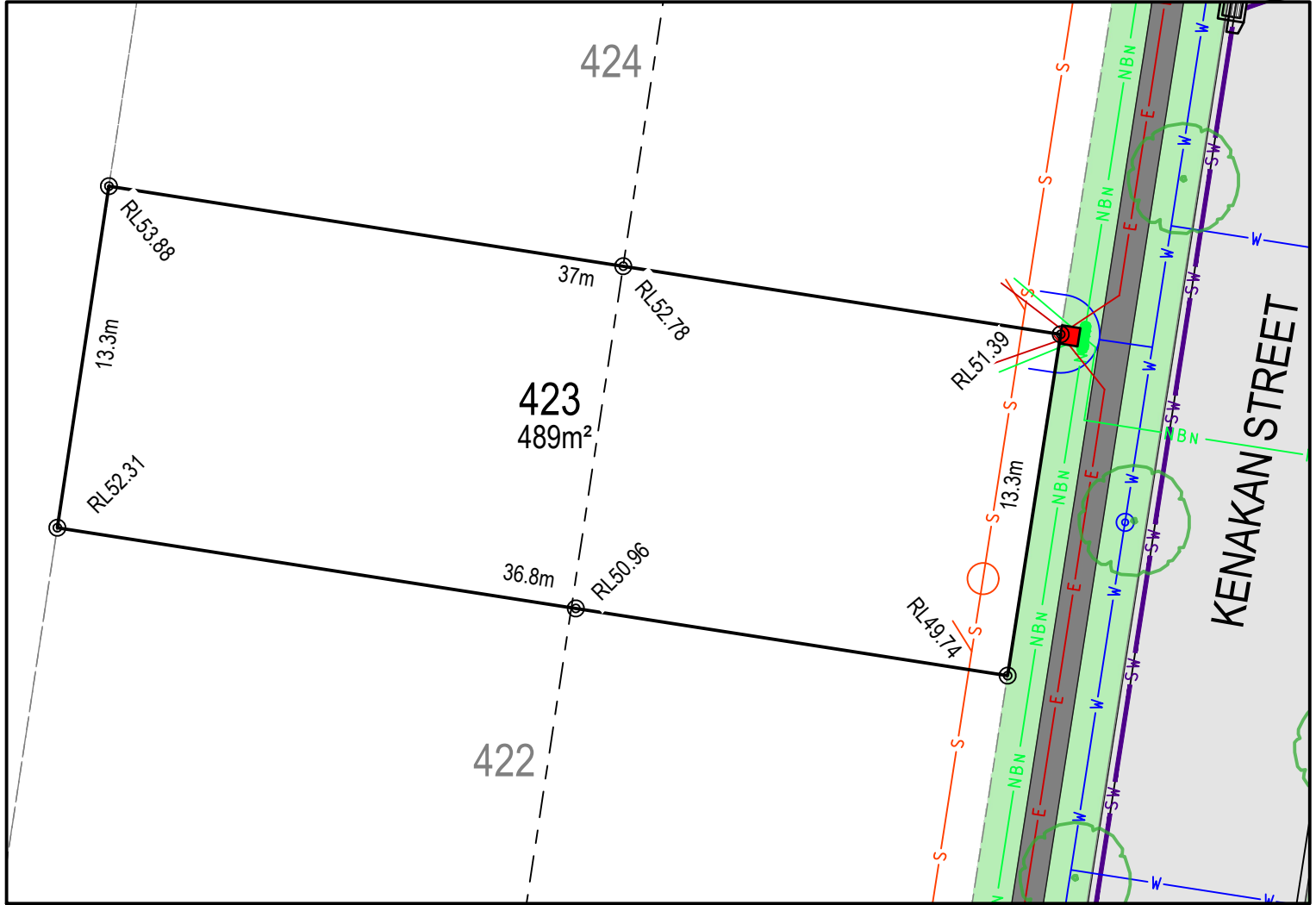
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PRELIMINARY SITE ANALYSIS PLAN



LEGEND:

- BATTER INTERFACE
- RETAINING WALL
- STORMWATER PIT
- SW STORMWATER PIPE
- S SEWERMAIN
- S SEWER MAINTENANCE STRUCTURE
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 MCCLOY
 GROUP
 PROJECT

LOT 424, KENAKAN STREET, EDGEWORTH

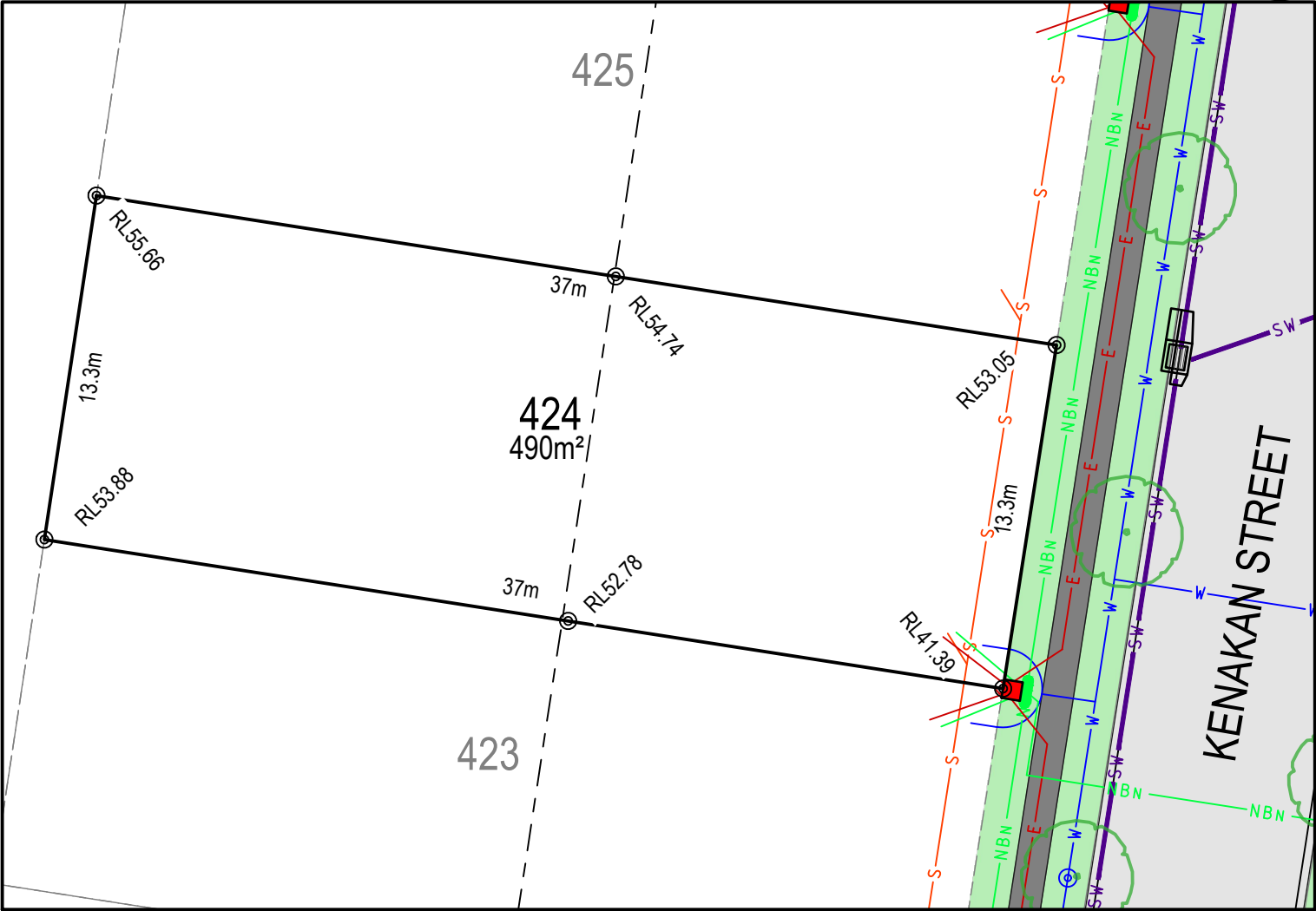
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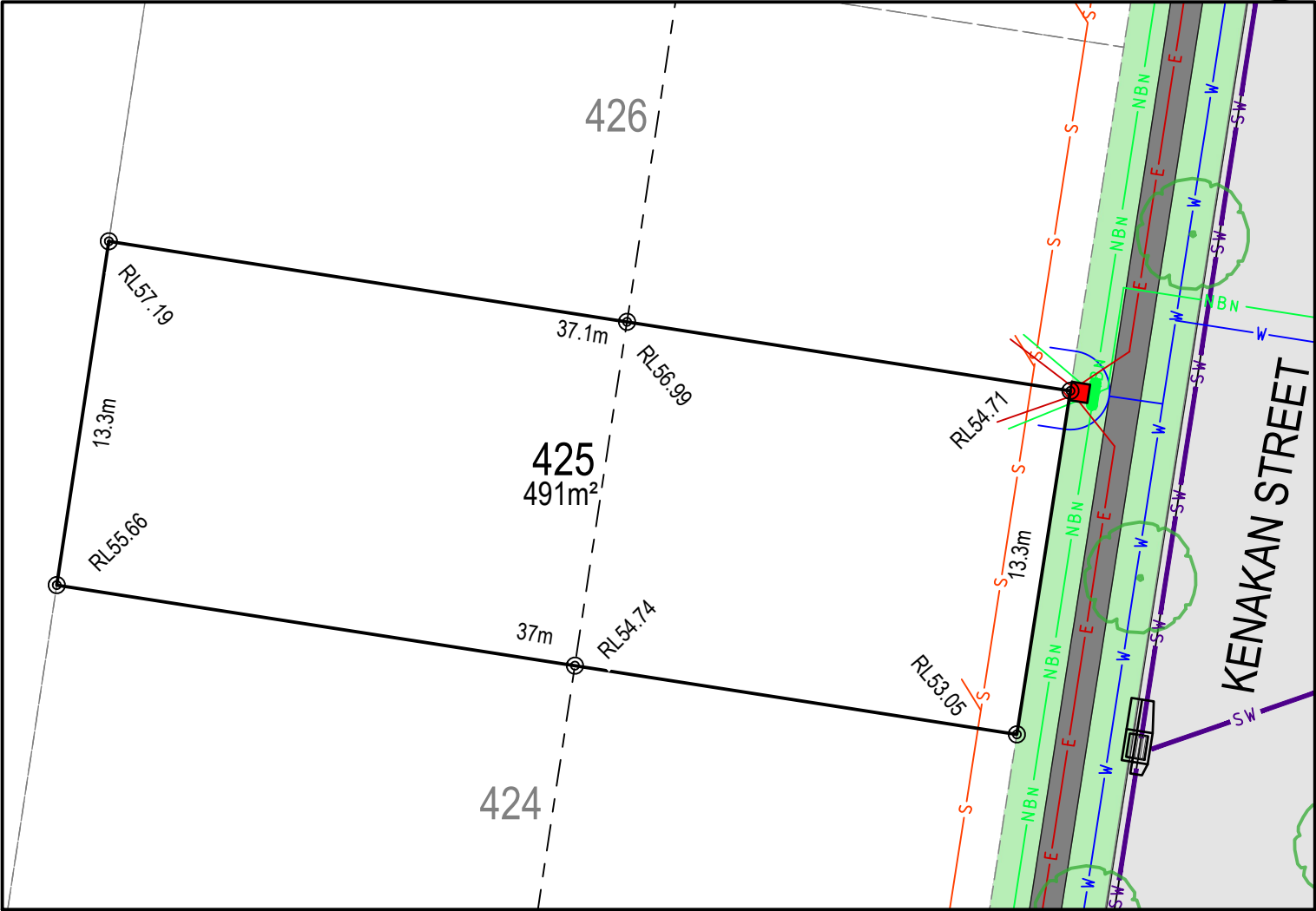
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 - STORMWATER PIT
 - SW STORMWATER PIPE
 - S SEWERMAIN
 - S SEWER MAINTENANCE STRUCTURE
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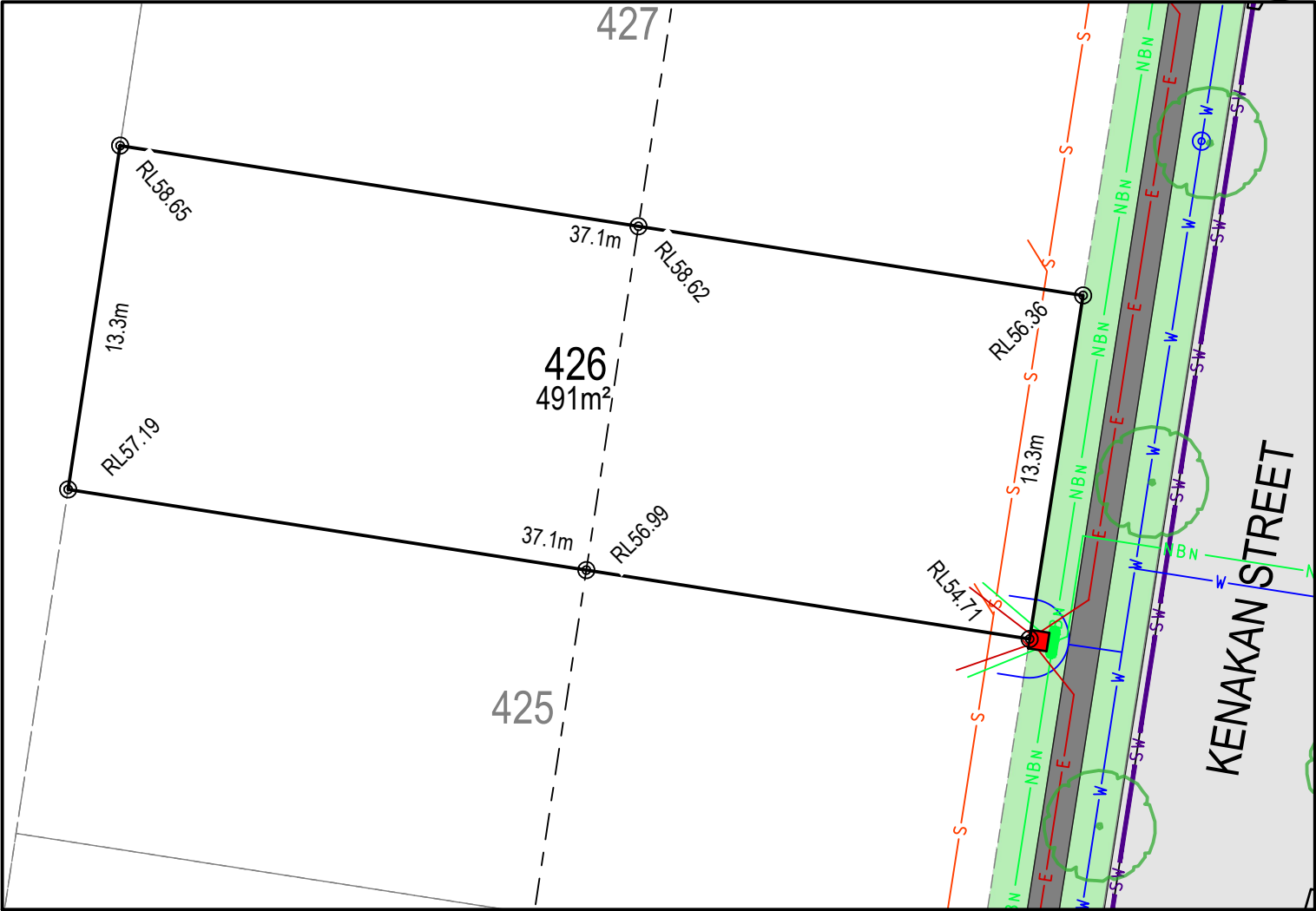
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- (L) - EASEMENT TO DRAIN WATER 2 WIDE
- (K) - RESTRICTION ON USE OF LAND 0.9 WIDE
- (J) - EASEMENT FOR CONSTRUCTION AND MAINTENANCE 0.9 WIDE

REVISION/S: HD27 STAGE 4 MARKETING r1
DATE: 09 DECEMBER 2021
BY: ACOR CONSULTANTS PTY LTD

LOT 427, KENAKAN STREET, EDGEWORTH

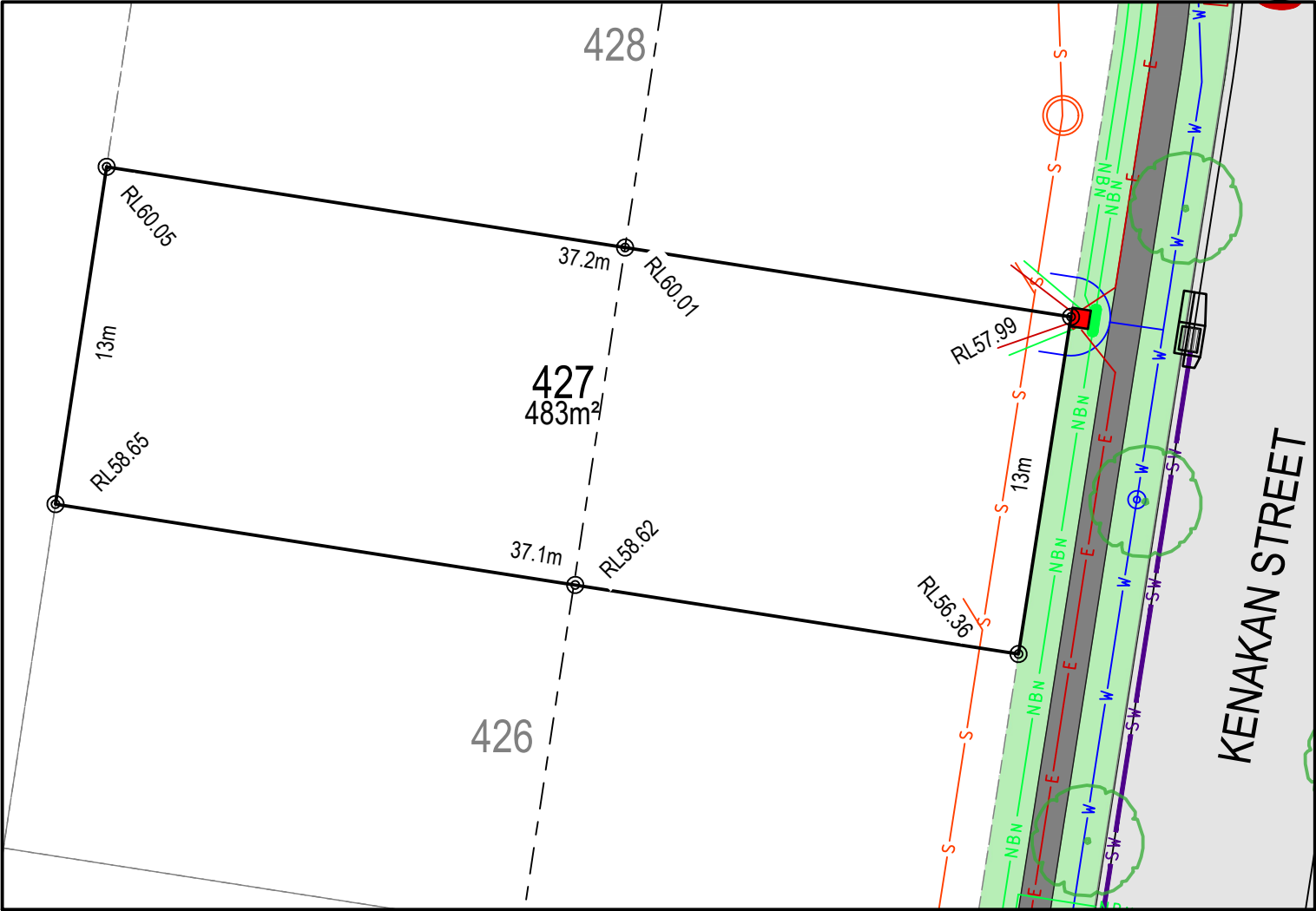
MASTER PLAN



STAGE PLAN



PRELIMINARY SITE ANALYSIS PLAN



- LEGEND:**
- BATTER INTERFACE
 - RETAINING WALL
 - STORMWATER PIT
 - STORMWATER PIPE
 - SEWERMAIN
 - SEWER MAINTENANCE STRUCTURE
 - SEWER JUNCTION
 - WATERMAIN
 - HYDRANT, STOP VALVE
 - TELSTRA / NBN
 - TELSTRA / NBN PIT
 - UNDER GROUND POWER
 - ELECTRICITY PILLAR
 - ELECTRICAL EASEMENT
 - LIGHT POLE
 - RESTRICTION ON THE USE OF LAND
 - STREET TREES
 - ASSET PROTECTION ZONE BDY

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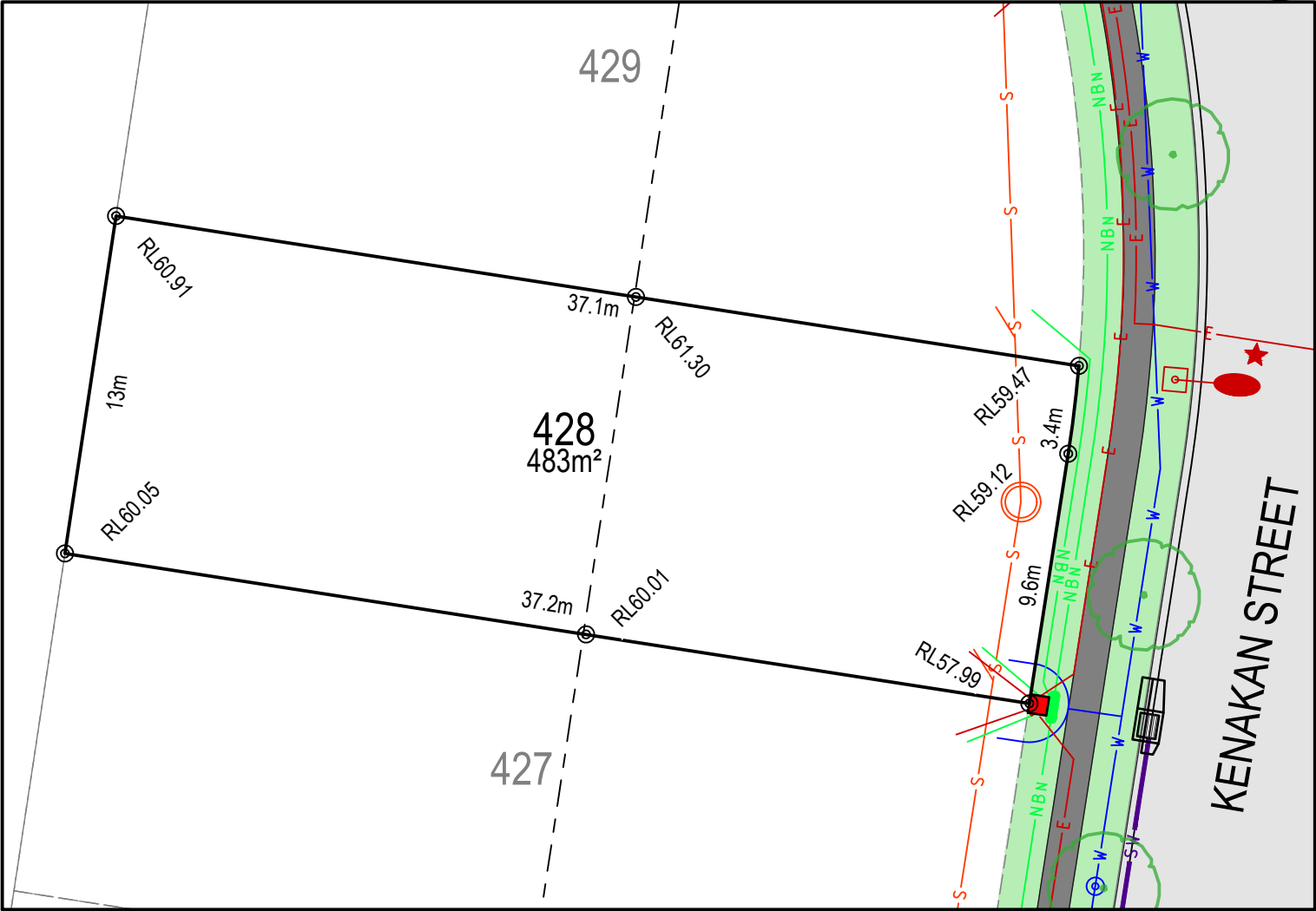
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PRELIMINARY SITE ANALYSIS PLAN



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 - STORMWATER PIPE
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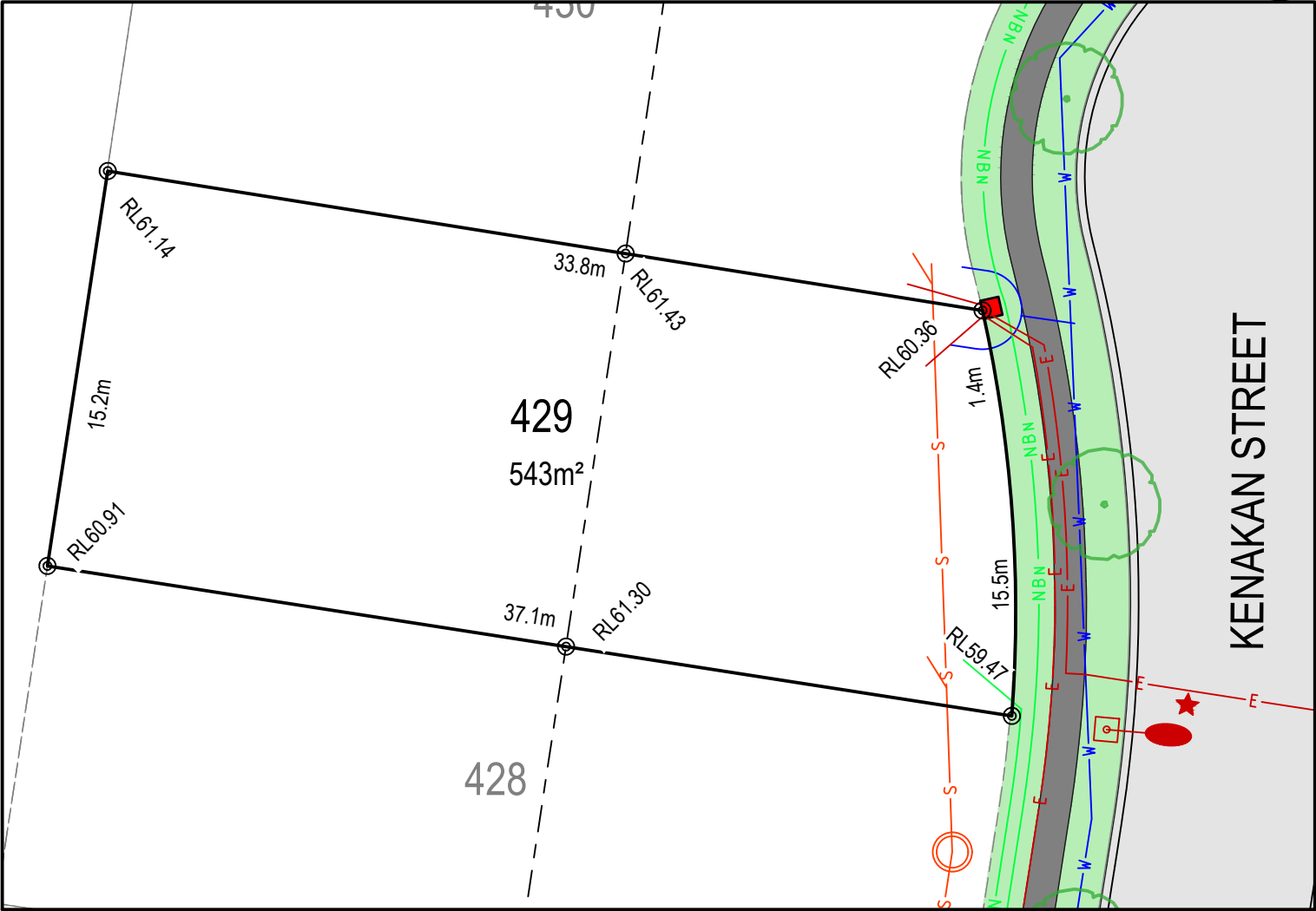
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- LEGEND:**
- BATTER INTERFACE
 - RETAINING WALL
 - STORMWATER PIT
 - STORMWATER PIPE
 - SEWERMAIN
 - SEWER MAINTENANCE STRUCTURE
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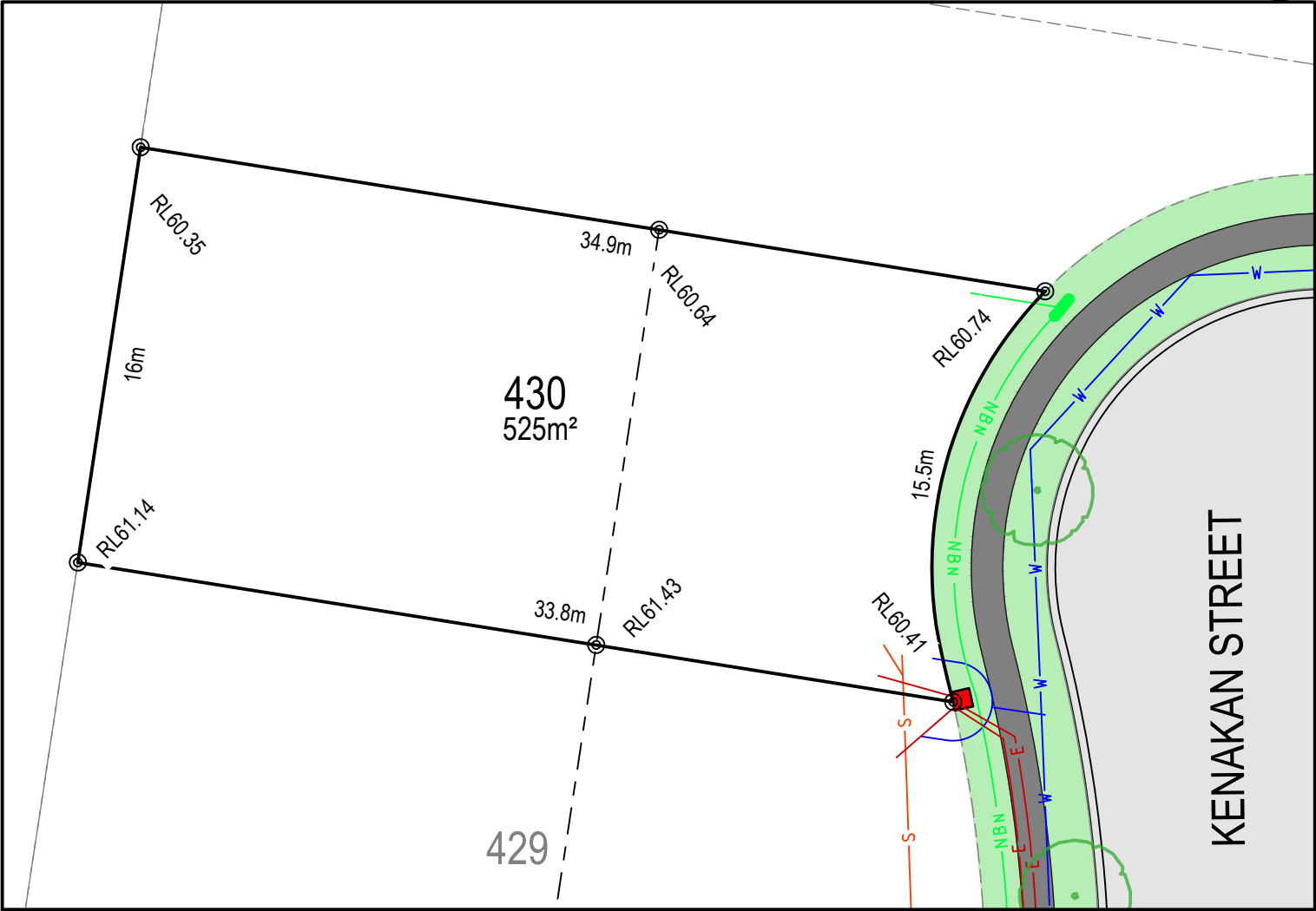
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PRELIMINARY SITE ANALYSIS PLAN



- LEGEND:**
- BATTER INTERFACE
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 - STORMWATER PIT
 - SV STORMWATER PIPE
 - S SEWERMAIN
 - SEWER MAINTENANCE STRUCTURE
 - SEWER JUNCTION
 - W WATERMAIN
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