LOT 501, TRANSFIELD AVENUE, EDGEWORTH







PRELIMINARY SITE ANALYSIS PIAN

502

501

501

506

110

LEGEND:

TELSTRA /NBN PIT

•

HYDRANT STOP VALVE

SEWER MANHOLE



LIGHT POLE
KERB INI FT PIT



STORMWATER PIT ELECTRICITY PILLAR



ELECTRICAL SUBSTATION



STREET TREES

DISCLAIMER/ NOTES:

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REVISION/S: HD27 STAGE 5 MARKETING r1

DATE: 23th October 2019

BY: HIGH DEFINITION DESIGN PTY LTD

(B) EASEMENT FOR CONSTRUCTION AND MAINTENANCE 0.7 WIDE RESTRICTIONS ON USE OF LAND AFFECT THE LOT

TETAINING WALLS

SEWER MAIN

WATER MAIN

Anticipated Site Classification - H1 Class

(to be confirmed at completion of construction)

TELSTRA /NBN

STORMWATER PIPE

SEWER JUNCTION

UNDER GROUND POWER



LOT 502, TRANSFIELD AVENUE, EDGEWORTH





BOOTARING BOULEVARD BOOTARING

LEGEND:

TELSTRA /NBN PIT
HYDRANT

ST

STOP VALVE

• LP

SEWER MANHOLE LIGHT POLE



KERB INLET PIT STORMWATER PIT ELECTRICITY PILLAR





ELECTRICAL SUBSTATION
STREET TREES

RETAINING WALLS
STORMWATER PIPE
SEWER JUNCTION
S SEWER MAIN
W WATER MAIN

NBN TELSTRA /NBN
 P UNDER GROUND POWER

Anticipated Site Classification - H1 Class

(to be confirmed at completion of construction)

(A) EASEMENT TO DRAIN WATER 1.5 WIDE

(B) EASEMENT FOR CONSTRUCTION AND MAINTENANCE 0.7 WIDE RESTRICTIONS ON USE OF LAND AFFECT THE LOT

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LOT 505, KENAKAN STREET, EDGEWORTH



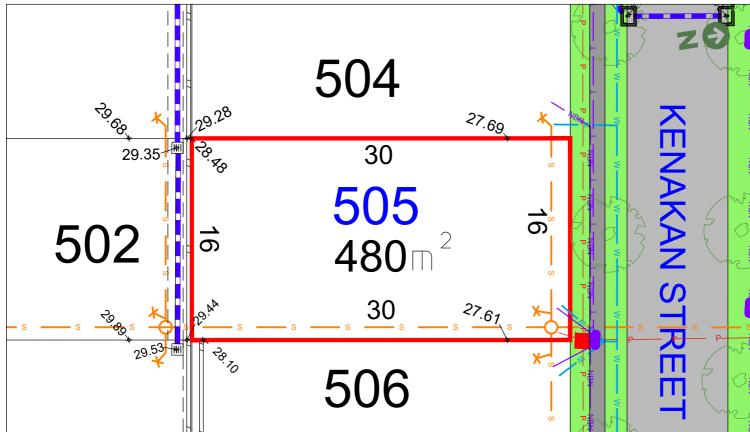






SCALE 1:300 @ A4

PRELIMINARY SITE ANALYSIS PLAN



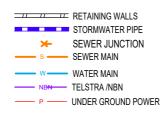
LEGEND:

TELSTRA /NBN PIT HYDRANT STOP VALVE

SEWER MANHOLE LIGHT POLE KERB INI ET PIT

STORMWATER PIT ELECTRICITY PILLAR

ELECTRICAL SUBSTATION STREET TREES



Anticipated Site Classification - H1 Class (to be confirmed at completion of construction)

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LOT 506, KENAKAN STREET, EDGEWORTH





STAGE PLAN BOOTARING BOULEVARD

SCALE 1:300 @ A4 PRELIMINARY SITE ANALYSIS PLAN 505 27.61 23.70 30 **506** 510 27.53 30 29.61 28.60

LEGEND:

TELSTRA /NBN PIT

HYDRANT STOP VALVE

SEWER MANHOLE

LIGHT POLE KERB INI ET PIT

STORMWATER PIT

ELECTRICITY PILLAR

ELECTRICAL SUBSTATION STREET TREES

TETAINING WALLS STORMWATER PIPE SEWER JUNCTION SEWER MAIN WATER MAIN TELSTRA /NBN UNDER GROUND POWER

Anticipated Site Classification - H1 Class (to be confirmed at completion of construction)

DISCLAIMER/ NOTES:

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REVISION/S: HD27 STAGE 5 MARKETING r1 DATE: 23th October 2019 BY: HIGH DEFINITION DESIGN PTY LTD



LOT 507, KOKANG STREET, EDGEWORTH





BOOTARING BOULEVARD PETURE RESIDENTIA BOOTARING BOULEVARD RESIDENTIA RESID

PRELIMINARY SITE ANALYSIS PLAN

\$\(\text{SCALE 1300 \ e A4} \)

\$\(\text{0} \)

\$\(\text{508} \)

\$\(\text{25.76} \)

\$\(\text{30} \)

\$\(\text{507} \)

\$\(\text{601} \)

\$\(\text{26.58} \)

\$\(\text{26.58} \)

\$\(\text{26.58} \)

\$\(\text{26.58} \)

\$\(\text{26.45} \)

\$\(\text{0P} \)

LEGEND:

TELSTRA /NBN PIT

HYDRANT
STOP VAI VE

SEWER MANHOLE

KERB INLET PIT
STORMWATER PIT

ELECTRICITY PILLAR

ELECTRICAL SUBSTATION

STREET TREES

RETAINING WALLS STORMWATER PIPE SEWER JUNCTION SEWER MAIN WWATER MAIN TELSTRA /NBN PWHOTE GROUND POWER

Anticipated Site Classification - H1 Class (to be confirmed at completion of construction)

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(B) EASEMENT FOR CONSTRUCTION AND MAINTENANCE 0.7 WIDE RESTRICTIONS ON USE OF LAND AFFECT THE LOT



LOT 508, KOKANG STREET, EDGEWORTH









LEGEND:

TELSTRA /NBN PIT
HYDRANT

STOP VALVE

SEWER MANHOLE

LIGHT POLE

KERB INLET PIT

STORMWATER PIT

ELECTRICITY PILLAR

ELECTRICAL SUBSTATION

STREET TREES

RETAINING WALLS
STORMWATER PIPE
SEWER JUNCTION
SEWER MAIN
WENT TELSTRA /NBN
PUNDER GROUND POWER

Anticipated Site Classification - H1 Class (to be confirmed at completion of construction)

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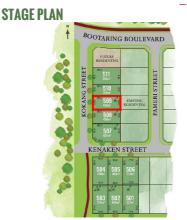


LOT 509, KOKANG STREET, EDGEWORTH









PRELIMINARY SITE ANALYSIS PLAN

510

510

510

522

450

61

143

508

LEGEND:

TELSTRA /NBN PIT
HYDRANT

STOP VALVE

SEWER MANHOLE

LIGHT POLE

KERB INLET PIT

STORMWATER PIT

ELECTRICITY PILLAR

ELECTRICAL SUBSTATION

STREET TREES

RETAINING WALLS STORMWATER PIPE SEWER JUNCTION SEWER MAIN WATER MAIN NBN TELSTRA /NBN UNDER GROUND POWER

Anticipated Site Classification - H1 Class (to be confirmed at completion of construction)

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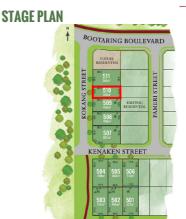


LOT 510, KOKANG STREET, EDGEWORTH









PRELIMINARY SITE ANALYSIS PLAN

511

27, 70

30

21, 70

30

22, 30

30

22, 45

144

LEGEND:

TELSTRA /NBN PIT

HYDRANT
STOP VALVE

SEWER MANHOLE

LIGHT POLE

KERB INLET PIT

STORMWATER PIT

ELECTRICITY PILLAR

ELECTRICAL SUBSTATION
STREET TREES

STORMWATER PIPE SEWER JUNCTION SEWER MAIN WHO WATER MAIN NON TELSTRA /NBN PUNDER GROUND POWER

Anticipated Site Classification - H1 Class (to be confirmed at completion of construction)

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LOT 511, KOKANG STREET, EDGEWORTH







LEGEND:

TELSTRA /NBN PIT

HYDRANT
STOP VALVE

SEWER MANHOLE

ф^{LP}

LIGHT POLE
KERB INLET PIT

STORMWATER PIT ELECTRICITY PILLAR

ELECTRICAL SUBSTATION

500

STREET TREES

DISCLAIMER / NOTES: 1. Contours are based on finished considered as final or as-built considered as final or as-built.

STORMWATER PIPE

SEWER JUNCTION

UNDER GROUND POWER

SEWER MAIN

WATER MAIN

TELSTRA /NBN

Anticipated Site Classification - H1 Class

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