

LOT 501, TRANSFIELD AVENUE, EDGEWORTH

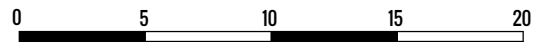
MASTER PLAN



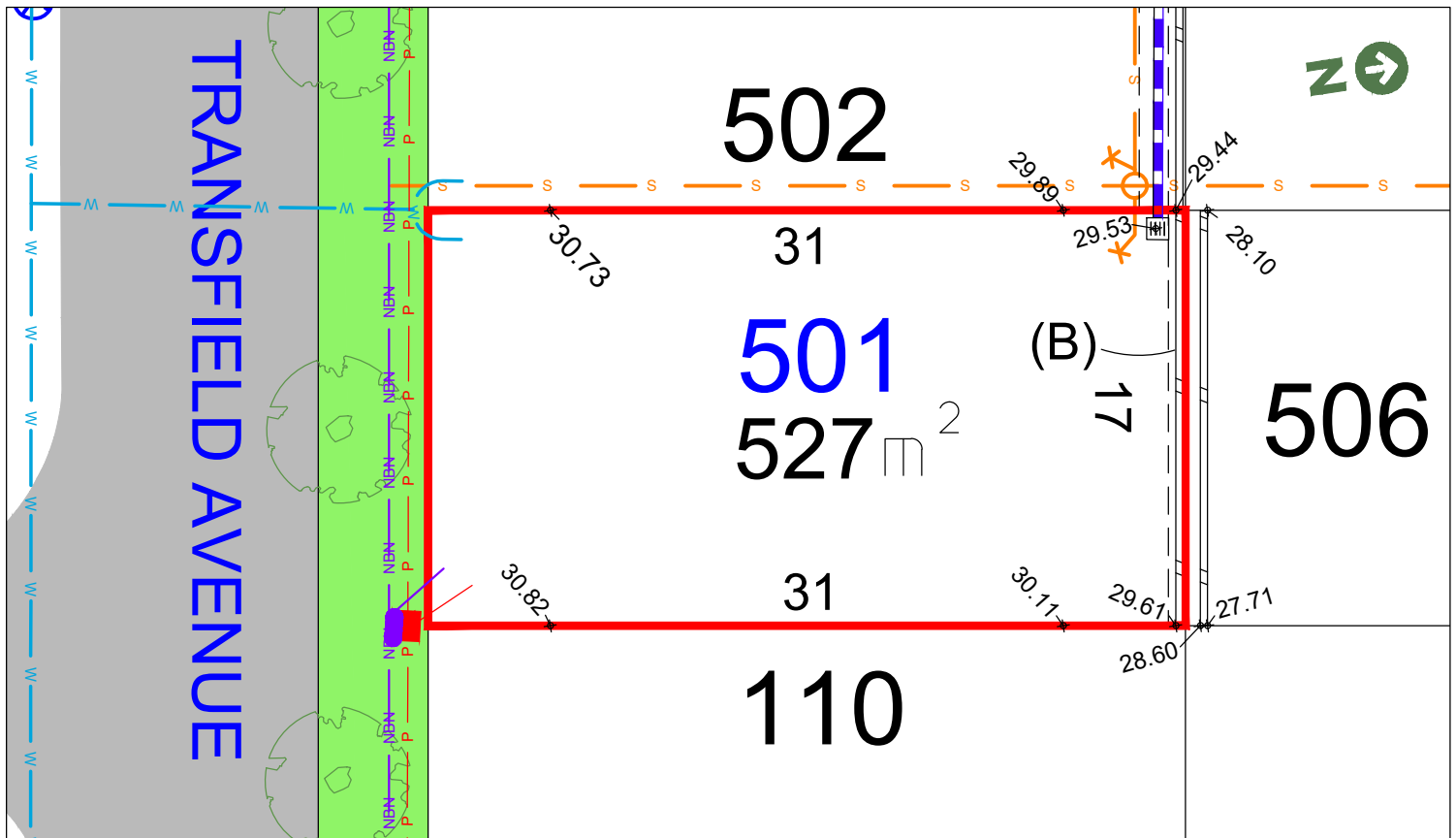
STAGE PLAN



SCALE 1:300 @ A4



PRELIMINARY SITE ANALYSIS PLAN



LEGEND:

	TELSTRA /NBN PIT		RETAINING WALLS
	HYDRANT		STORMWATER PIPE
	STOP VALVE		SEWER JUNCTION
	SEWER MANHOLE		SEWER MAIN
	LIGHT POLE		WATER MAIN
	KERB INLET PIT		TELSTRA /NBN
	STORMWATER PIT		UNDER GROUND POWER
	ELECTRICITY PILLAR		
	ELECTRICAL SUBSTATION		
	STREET TREES		

Anticipated Site Classification - H1 Class
(to be confirmed at completion of construction)

(B) EASEMENT FOR CONSTRUCTION AND MAINTENANCE 0.7 WIDE
RESTRICTIONS ON USE OF LAND AFFECT THE LOT

DISCLAIMER/ NOTES:

- Contours are based on finished design levels and are subject to construction and Council certification and therefore should not be considered as final or as-built.
- Location of utility services including but not limited to power, water, sewer, communications and gas are subject to construction and Supply Authority certification and therefore should not be considered as final or as-built.
- Survey information such as boundary dimensions and areas, easements etc are subject to Final Survey. Purchasers should refer to the Deposited Plan and 88B Instrument contained in the Contract for Sale of Land for further detailed information.
- Bushfire and Geotechnical classification are provided for convenience. Purchasers should refer to referenced detail specialist reports.
- This Preliminary Site Analysis Plan has been collated from various sources of design information and is provided for convenience to assist Purchasers in obtaining quotations/tenders for dwelling construction.
- This document does not form part of the Contract of Sale of the Land.

REVISION/S: HD27 STAGE 5 MARKETING r1

DATE: 23th October 2019

BY: HIGH DEFINITION DESIGN PTY LTD

LOT 502, TRANSFIELD AVENUE, EDGEWORTH

MASTER PLAN



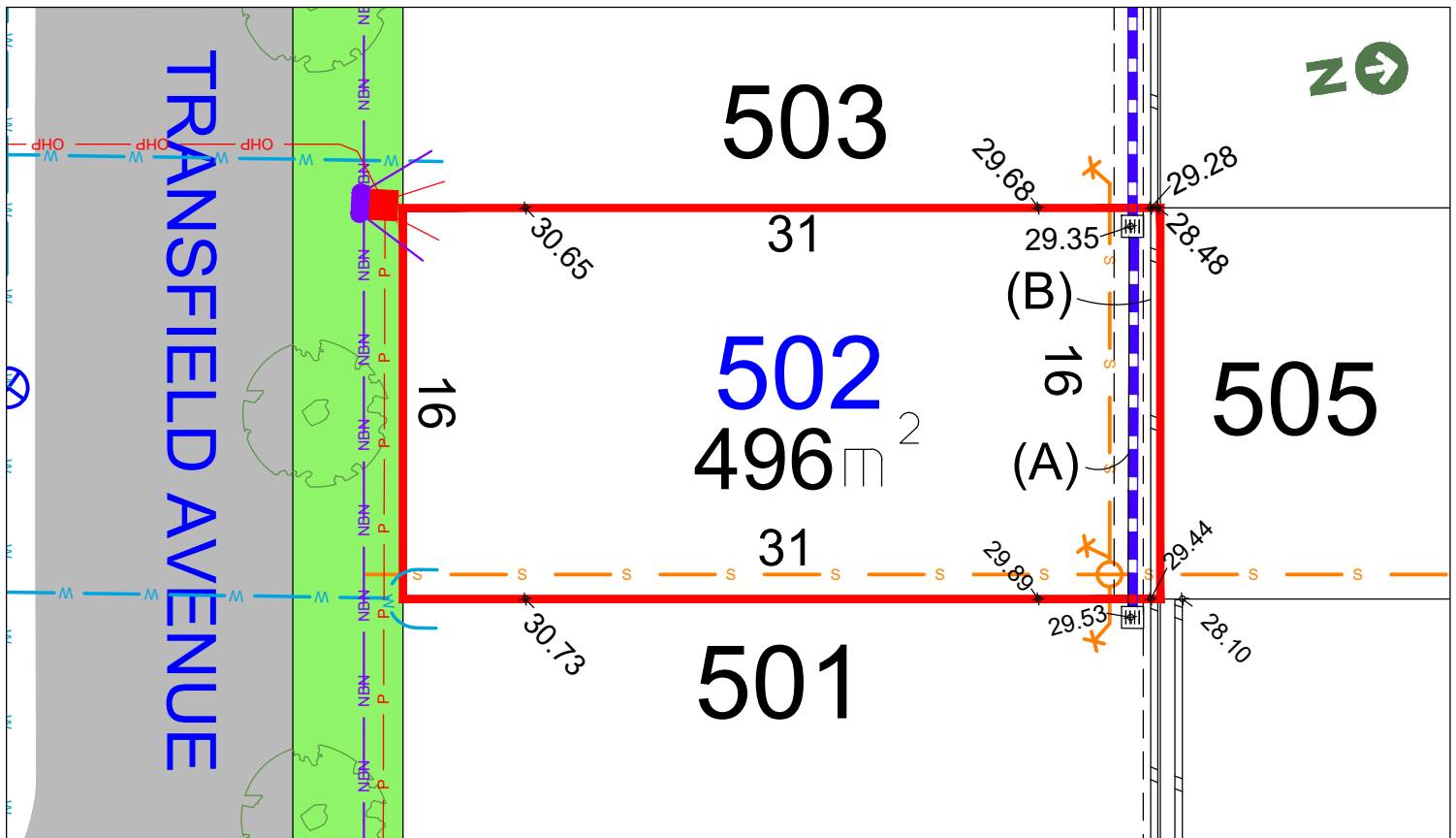
STAGE PLAN



SCALE 1:300 @ A4



PRELIMINARY SITE ANALYSIS PLAN



LEGEND:

	TELSTRA /NBN PIT		RETAINING WALLS
	HYDRANT		STORMWATER PIPE
	STOP VALVE		SEWER JUNCTION
	SEWER MANHOLE		SEWER MAIN
	LIGHT POLE		WATER MAIN
	KERB INLET PIT		TELSTRA /NBN
	STORMWATER PIT		UNDER GROUND POWER
	ELECTRICITY PILLAR		
	ELECTRICAL SUBSTATION		
	STREET TREES		

Anticipated Site Classification - H1 Class
(to be confirmed at completion of construction)

(A) EASEMENT TO DRAIN WATER 1.5 WIDE
(B) EASEMENT FOR CONSTRUCTION AND MAINTENANCE 0.7 WIDE
RESTRICTIONS ON USE OF LAND AFFECT THE LOT

DISCLAIMER/ NOTES:

1. Contours are based on finished design levels and are subject to construction and Council certification and therefore should not be considered as final or as-built.
2. Location of utility services including but not limited to power, water, sewer, communications and gas are subject to construction and Supply Authority certification and therefore should not be considered as final or as-built.
3. Survey information such as boundary dimensions and areas, easements etc are subject to Final Survey. Purchasers should refer to the Deposited Plan and 88B Instrument contained in the Contract for Sale of Land for further detailed information.
4. Bushfire and Geotechnical classification are provided for convenience. Purchasers should refer to referenced detail specialist reports.
5. This Preliminary Site Analysis Plan has been collated from various sources of design information and is provided for convenience to assist Purchasers in obtaining quotations/tenders for dwelling construction.
6. This document does not form part of the Contract of Sale of the Land.

REVISION/S: HD27 STAGE 5 MARKETING r1

DATE: 23th October 2019

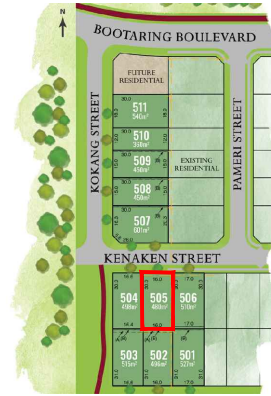
BY: HIGH DEFINITION DESIGN PTY LTD

LOT 505, KENAKAN STREET, EDGEWORTH

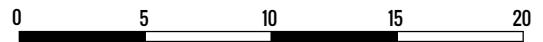
MASTER PLAN



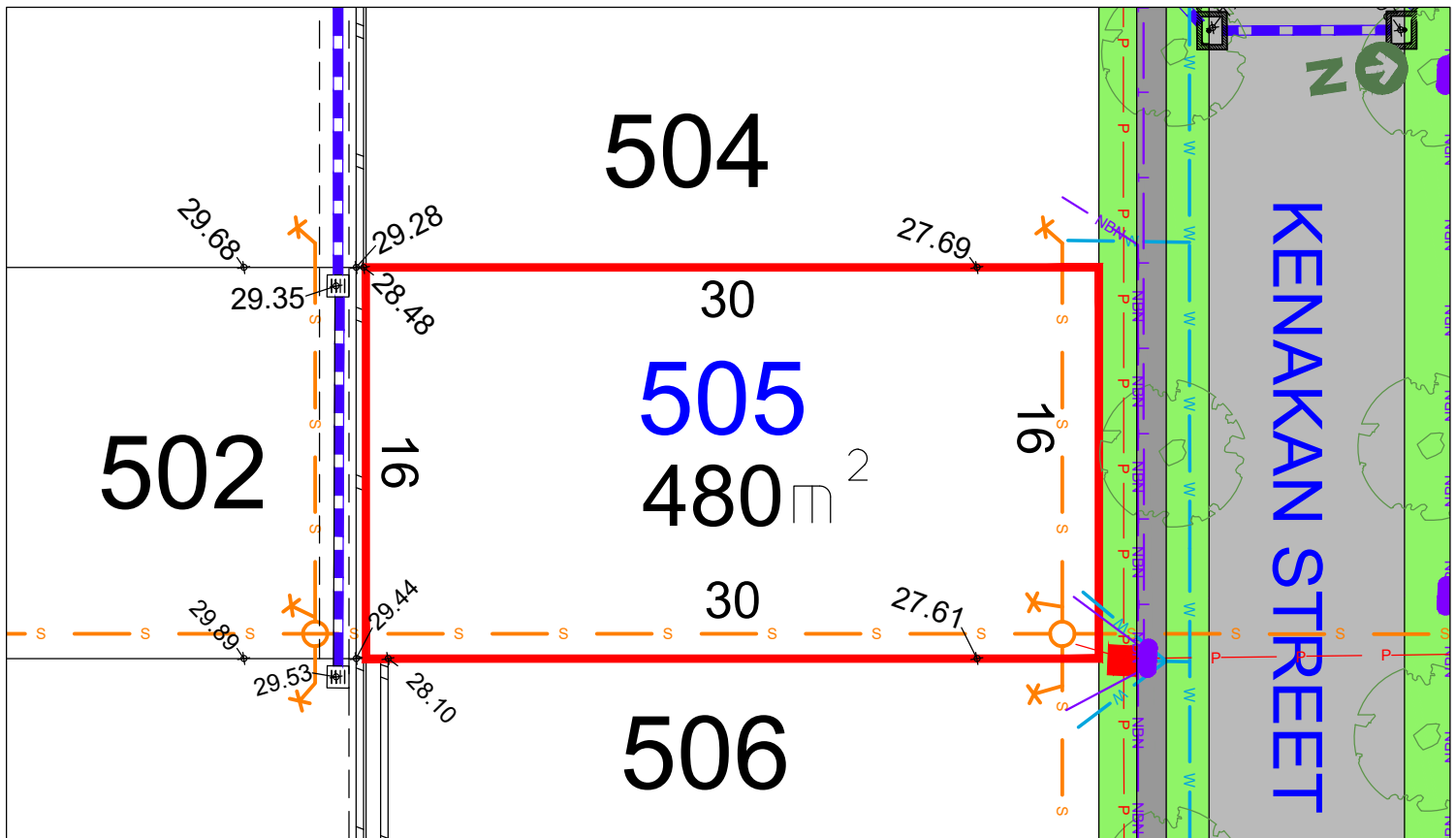
STAGE PLAN



SCALE 1:300 @ A4



PRELIMINARY SITE ANALYSIS PLAN



LEGEND:

- | | | | |
|--|-----------------------|--|--------------------|
| | TELSTRA /NBN PIT | | RETAINING WALLS |
| | HYDRANT | | STORMWATER PIPE |
| | STOP VALVE | | SEWER JUNCTION |
| | SEWER MANHOLE | | SEWER MAIN |
| | LIGHT POLE | | WATER MAIN |
| | KERB INLET PIT | | TELSTRA /NBN |
| | STORMWATER PIT | | UNDER GROUND POWER |
| | ELECTRICITY PILLAR | | |
| | ELECTRICAL SUBSTATION | | |
| | STREET TREES | | |
- Anticipated Site Classification - H1 Class
(to be confirmed at completion of construction)

DISCLAIMER/ NOTES:

- Contours are based on finished design levels and are subject to construction and Council certification and therefore should not be considered as final or as-built.
- Location of utility services including but not limited to power, water, sewer, communications and gas are subject to construction and Supply Authority certification and therefore should not be considered as final or as-built.
- Survey information such as boundary dimensions and areas, easements etc are subject to Final Survey. Purchasers should refer to the Deposited Plan and 88B Instrument contained in the Contract for Sale of Land for further detailed information.
- Bushfire and Geotechnical classification are provided for convenience. Purchasers should refer to referenced detail specialist reports.
- This Preliminary Site Analysis Plan has been collated from various sources of design information and is provided for convenience to assist Purchasers in obtaining quotations/tenders for dwelling construction.
- This document does not form part of the Contract of Sale of the Land.

REVISIONS/ HD27 STAGE 5 MARKETING r1

DATE: 23th October 2019

BY: HIGH DEFINITION DESIGN PTY LTD

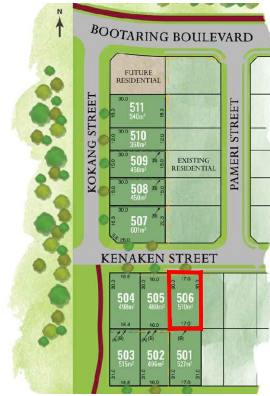
RESTRICTIONS ON USE OF LAND AFFECT THE LOT

LOT 506, KENAKAN STREET, EDGEWORTH

MASTER PLAN



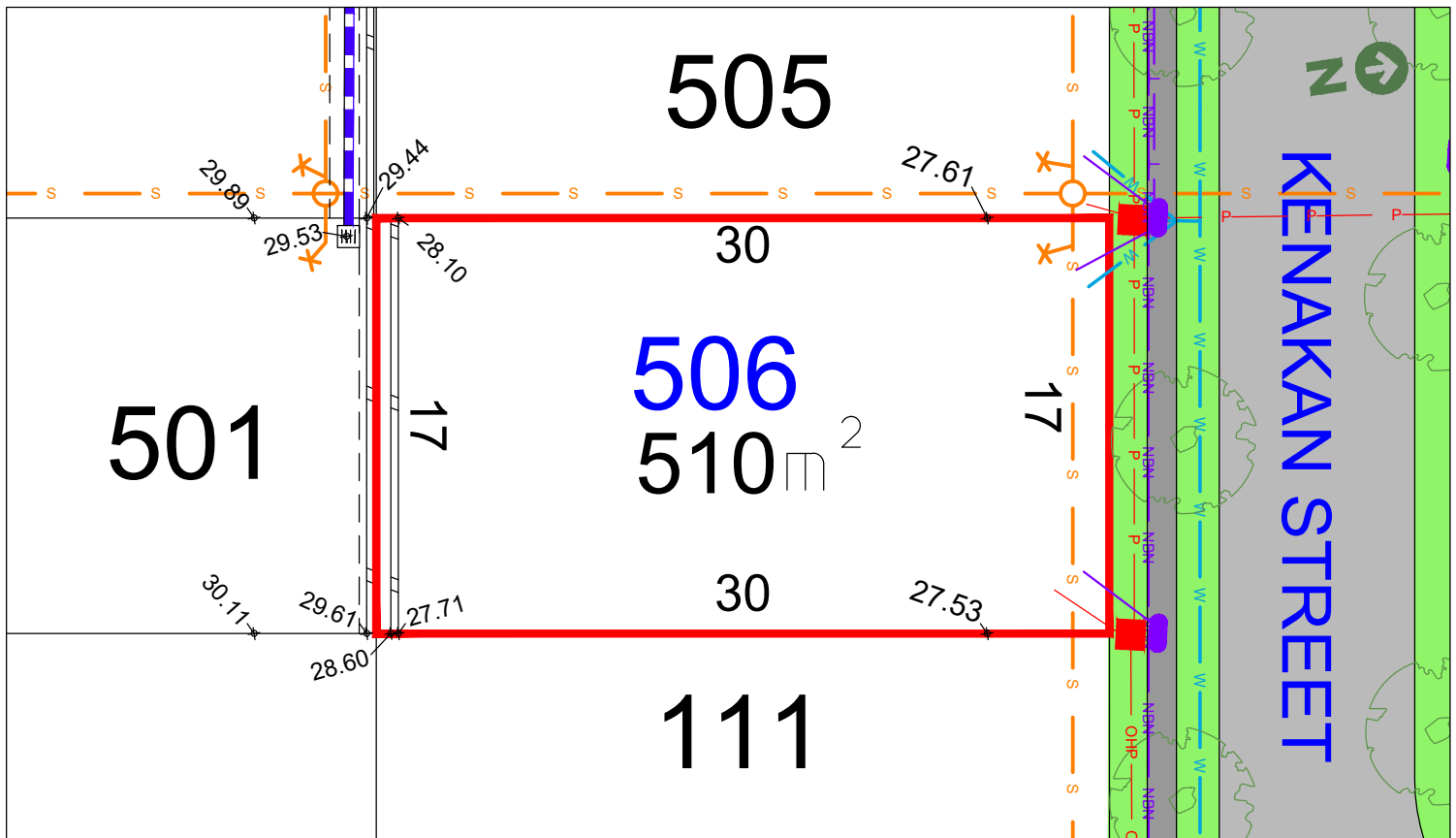
STAGE PLAN



SCALE 1:300 @ A4



PRELIMINARY SITE ANALYSIS PLAN



LEGEND:

	TELSTRA /NBN PIT		RETAINING WALLS
	HYDRANT		STORMWATER PIPE
	STOP VALVE		SEWER JUNCTION
	SEWER MANHOLE		SEWER MAIN
	LIGHT POLE		WATER MAIN
	KERB INLET PIT		TELSTRA /NBN
	STORMWATER PIT		UNDER GROUND POWER
	ELECTRICITY PILLAR		
	ELECTRICAL SUBSTATION		
	STREET TREES		

Anticipated Site Classification - H1 Class
(to be confirmed at completion of construction)

DISCLAIMER/ NOTES:

1. Contours are based on finished design levels and are subject to construction and Council certification and therefore should not be considered as final or as-built.
2. Location of utility services including but not limited to power, water, sewer, communications and gas are subject to construction and Supply Authority certification and therefore should not be considered as final or as-built.
3. Survey information such as boundary dimensions and areas, easements etc are subject to Final Survey. Purchasers should refer to the Deposited Plan and 88B Instrument contained in the Contract for Sale of Land for further detailed information.
4. Bushfire and Geotechnical classification are provided for convenience. Purchasers should refer to referenced detail specialist reports.
5. This Preliminary Site Analysis Plan has been collated from various sources of design information and is provided for convenience to assist Purchasers in obtaining quotations/tenders for dwelling construction.
6. This document does not form part of the Contract of Sale of the Land.

REVISIONS/ HD27 STAGE 5 MARKETING r1

DATE: 23th October 2019

BY: HIGH DEFINITION DESIGN PTY LTD

RESTRICTIONS ON USE OF LAND AFFECT THE LOT

LOT 507, KOKANG STREET, EDGEWORTH

MASTER PLAN



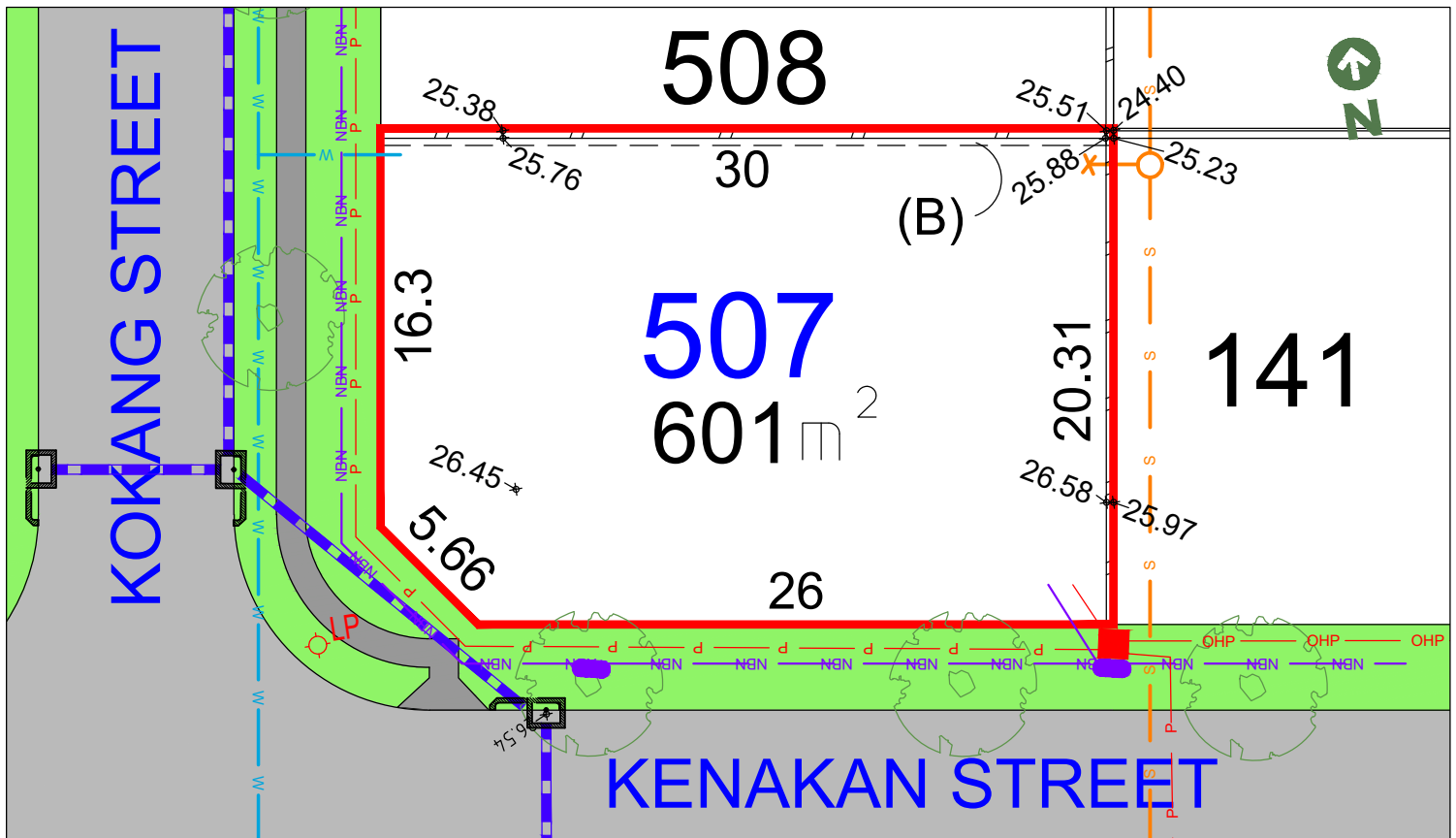
STAGE PLAN



SCALE 1:300 @ A4



PRELIMINARY SITE ANALYSIS PLAN



LEGEND:

- | | | | |
|--|-----------------------|--|--------------------|
| | TELSTRA /NBN PIT | | RETAINING WALLS |
| | HYDRANT | | STORMWATER PIPE |
| | STOP VALVE | | SEWER JUNCTION |
| | SEWER MANHOLE | | SEWER MAIN |
| | LIGHT POLE | | WATER MAIN |
| | KERB INLET PIT | | TELSTRA /NBN |
| | STORMWATER PIT | | UNDER GROUND POWER |
| | ELECTRICITY PILLAR | | |
| | ELECTRICAL SUBSTATION | | |
| | STREET TREES | | |

Anticipated Site Classification - H1 Class
(to be confirmed at completion of construction)

(B) EASEMENT FOR CONSTRUCTION AND MAINTENANCE 0.7 WIDE
RESTRICTIONS ON USE OF LAND AFFECT THE LOT

DISCLAIMER/ NOTES:

- Contours are based on finished design levels and are subject to construction and Council certification and therefore should not be considered as final or as-built.
- Location of utility services including but not limited to power, water, sewer, communications and gas are subject to construction and Supply Authority certification and therefore should not be considered as final or as-built.
- Survey information such as boundary dimensions and areas, easements etc are subject to Final Survey. Purchasers should refer to the Deposited Plan and 88B Instrument contained in the Contract for Sale of Land for further detailed information.
- Bushfire and Geotechnical classification are provided for convenience. Purchasers should refer to referenced detail specialist reports.
- This Preliminary Site Analysis Plan has been collated from various sources of design information and is provided for convenience to assist Purchasers in obtaining quotations/tenders for dwelling construction.
- This document does not form part of the Contract of Sale of the Land.

REVISION/S: HD27 STAGE 5 MARKETING r1

DATE: 23th October 2019

BY: HIGH DEFINITION DESIGN PTY LTD

LOT 508, KOKANG STREET, EDGEWORTH

MASTER PLAN



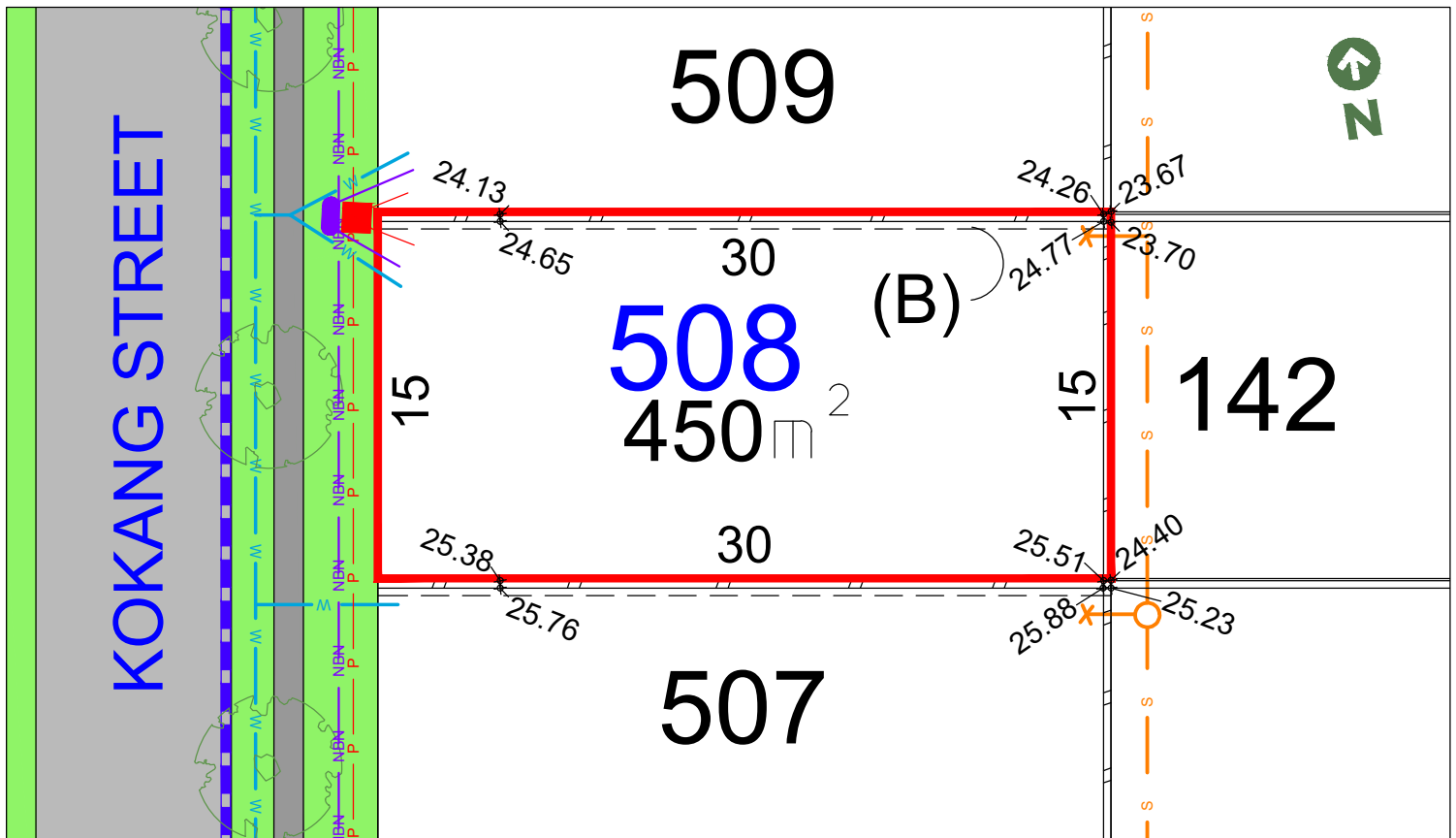
STAGE PLAN



SCALE 1:300 @ A4



PRELIMINARY SITE ANALYSIS PLAN



LEGEND:

- | | | | |
|--|-----------------------|--|--------------------|
| | TELSTRA /NBN PIT | | RETAINING WALLS |
| | HYDRANT | | STORMWATER PIPE |
| | STOP VALVE | | SEWER JUNCTION |
| | SEWER MANHOLE | | SEWER MAIN |
| | LIGHT POLE | | WATER MAIN |
| | KERB INLET PIT | | TELSTRA /NBN |
| | STORMWATER PIT | | UNDER GROUND POWER |
| | ELECTRICITY PILLAR | | |
| | ELECTRICAL SUBSTATION | | |
| | STREET TREES | | |

Anticipated Site Classification - H1 Class
(to be confirmed at completion of construction)

(B) EASEMENT FOR CONSTRUCTION AND MAINTENANCE 0.7 WIDE
RESTRICTIONS ON USE OF LAND AFFECT THE LOT

DISCLAIMER/ NOTES:

- Contours are based on finished design levels and are subject to construction and Council certification and therefore should not be considered as final or as-built.
- Location of utility services including but not limited to power, water, sewer, communications and gas are subject to construction and Supply Authority certification and therefore should not be considered as final or as-built.
- Survey information such as boundary dimensions and areas, easements etc are subject to Final Survey. Purchasers should refer to the Deposited Plan and 88B Instrument contained in the Contract for Sale of Land for further detailed information.
- Bushfire and Geotechnical classification are provided for convenience. Purchasers should refer to referenced detail specialist reports.
- This Preliminary Site Analysis Plan has been collated from various sources of design information and is provided for convenience to assist Purchasers in obtaining quotations/tenders for dwelling construction.
- This document does not form part of the Contract of Sale of the Land.

REVISION/S: HD27 STAGE 5 MARKETING r1

DATE: 23th October 2019

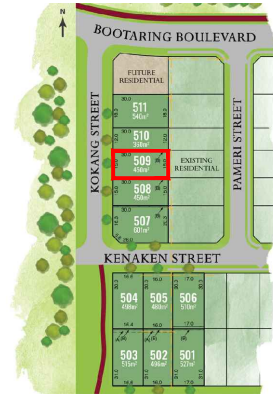
BY: HIGH DEFINITION DESIGN PTY LTD

LOT 509, KOKANG STREET, EDGEWORTH

MASTER PLAN



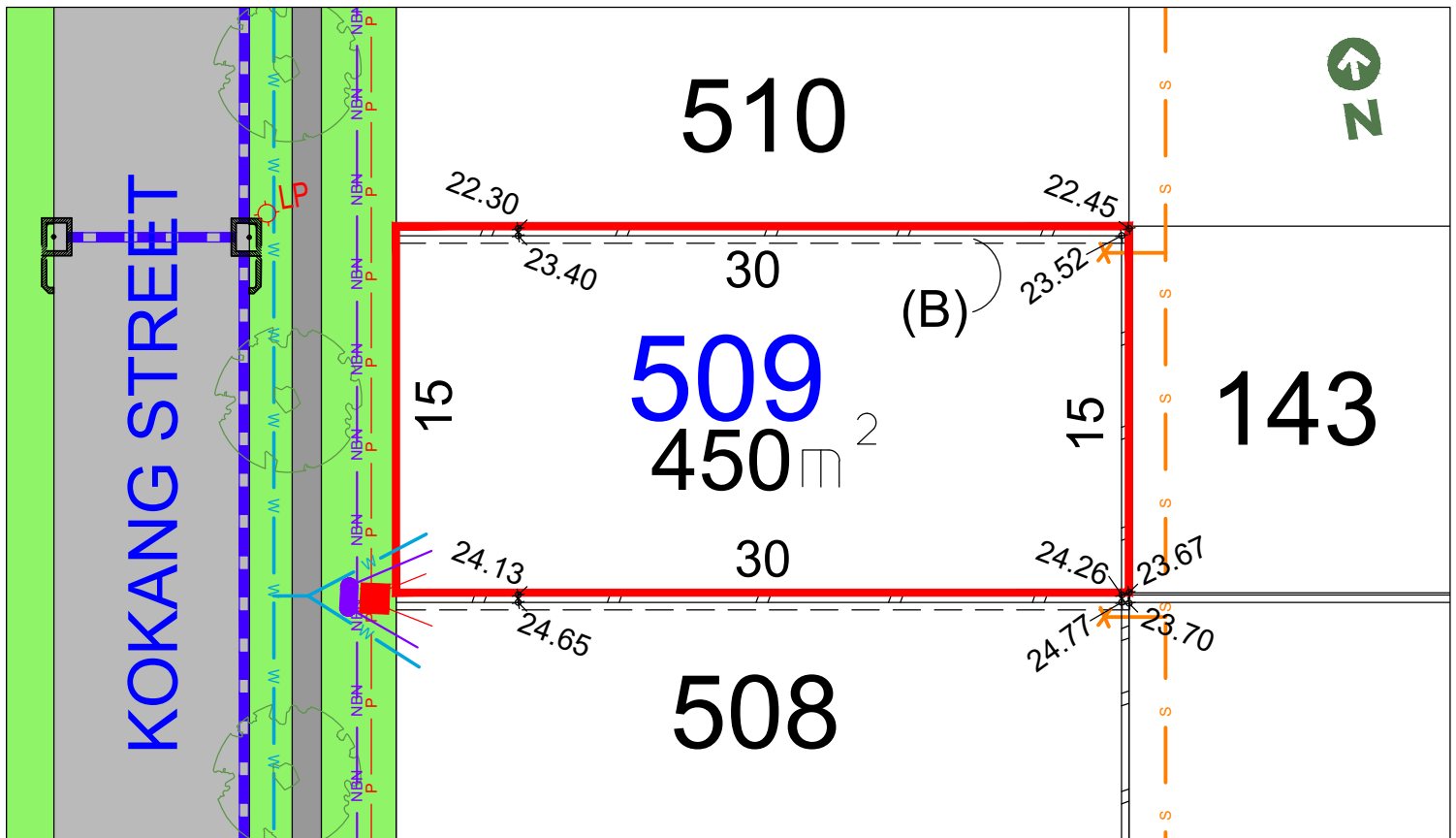
STAGE PLAN



SCALE 1:300 @ A4



PRELIMINARY SITE ANALYSIS PLAN



LEGEND:

- | | | | |
|--|-----------------------|--|--------------------|
| | TELSTRA /NBN PIT | | RETAINING WALLS |
| | HYDRANT | | STORMWATER PIPE |
| | STOP VALVE | | SEWER JUNCTION |
| | SEWER MANHOLE | | SEWER MAIN |
| | LIGHT POLE | | WATER MAIN |
| | KERB INLET PIT | | TELSTRA /NBN |
| | STORMWATER PIT | | UNDER GROUND POWER |
| | ELECTRICITY PILLAR | | |
| | ELECTRICAL SUBSTATION | | |
| | STREET TREES | | |

Anticipated Site Classification - H1 Class
(to be confirmed at completion of construction)

(B) EASEMENT FOR CONSTRUCTION AND MAINTENANCE 0.7 WIDE
RESTRICTIONS ON USE OF LAND AFFECT THE LOT

DISCLAIMER/ NOTES:

- Contours are based on finished design levels and are subject to construction and Council certification and therefore should not be considered as final or as-built.
- Location of utility services including but not limited to power, water, sewer, communications and gas are subject to construction and Supply Authority certification and therefore should not be considered as final or as-built.
- Survey information such as boundary dimensions and areas, easements etc are subject to Final Survey. Purchasers should refer to the Deposited Plan and 88B Instrument contained in the Contract for Sale of Land for further detailed information.
- Bushfire and Geotechnical classification are provided for convenience. Purchasers should refer to referenced detail specialist reports.
- This Preliminary Site Analysis Plan has been collated from various sources of design information and is provided for convenience to assist Purchasers in obtaining quotations/tenders for dwelling construction.
- This document does not form part of the Contract of Sale of the Land.

REVISION/S: HD27 STAGE 5 MARKETING r1

DATE: 23th October 2019

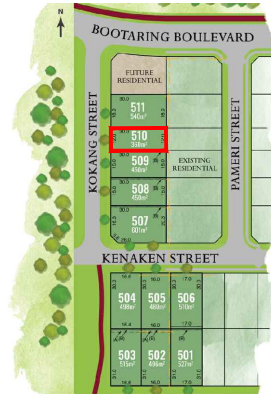
BY: HIGH DEFINITION DESIGN PTY LTD

LOT 510, KOKANG STREET, EDGEWORTH

MASTER PLAN



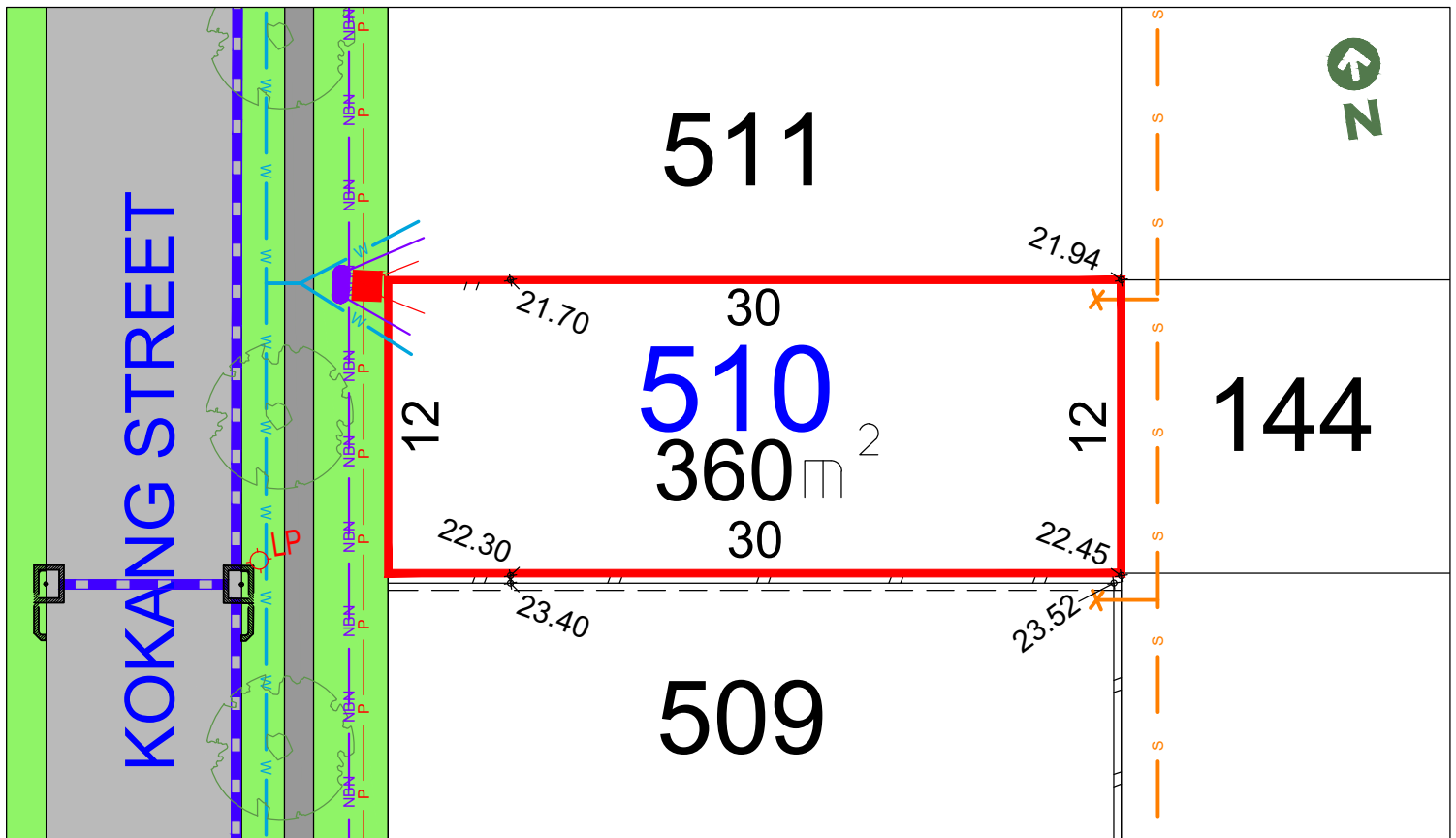
STAGE PLAN



SCALE 1:300 @ A4



PRELIMINARY SITE ANALYSIS PLAN



LEGEND:

- | | | | |
|--|-----------------------|--|--------------------|
| | TELSTRA /NBN PIT | | RETAINING WALLS |
| | HYDRANT | | STORMWATER PIPE |
| | STOP VALVE | | SEWER JUNCTION |
| | SEWER MANHOLE | | SEWER MAIN |
| | LIGHT POLE | | WATER MAIN |
| | KERB INLET PIT | | TELSTRA /NBN |
| | STORMWATER PIT | | UNDER GROUND POWER |
| | ELECTRICITY PILLAR | | |
| | ELECTRICAL SUBSTATION | | |
| | STREET TREES | | |

Anticipated Site Classification - H1 Class
(to be confirmed at completion of construction)

DISCLAIMER/ NOTES:

- Contours are based on finished design levels and are subject to construction and Council certification and therefore should not be considered as final or as-built.
- Location of utility services including but not limited to power, water, sewer, communications and gas are subject to construction and Supply Authority certification and therefore should not be considered as final or as-built.
- Survey information such as boundary dimensions and areas, easements etc are subject to Final Survey. Purchasers should refer to the Deposited Plan and 88B Instrument contained in the Contract for Sale of Land for further detailed information.
- Bushfire and Geotechnical classification are provided for convenience. Purchasers should refer to referenced detail specialist reports.
- This Preliminary Site Analysis Plan has been collated from various sources of design information and is provided for convenience to assist Purchasers in obtaining quotations/tenders for dwelling construction.
- This document does not form part of the Contract of Sale of the Land.

REVISIONS/ HD27 STAGE 5 MARKETING r1

DATE: 23th October 2019

BY: HIGH DEFINITION DESIGN PTY LTD

RESTRICTIONS ON USE OF LAND AFFECT THE LOT

LOT 511, KOKANG STREET, EDGEWORTH

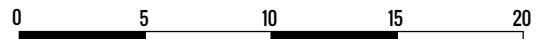
MASTER PLAN



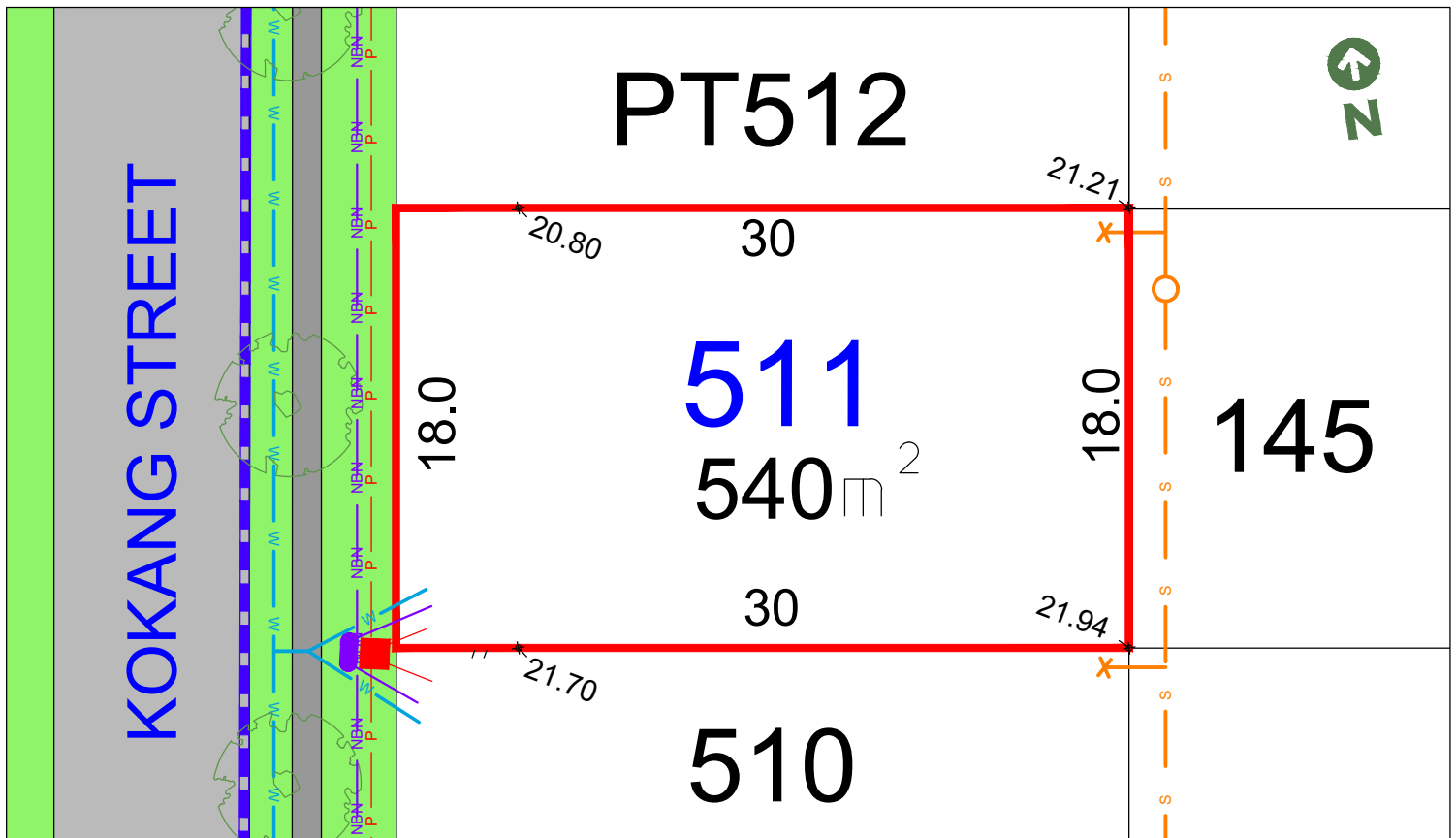
STAGE PLAN



SCALE 1:300 @ A4



PRELIMINARY SITE ANALYSIS PLAN



LEGEND:

- | | | | |
|--|-----------------------|--|--------------------|
| | TELSTRA /NBN PIT | | RETAINING WALLS |
| | HYDRANT | | STORMWATER PIPE |
| | STOP VALVE | | SEWER JUNCTION |
| | SEWER MANHOLE | | SEWER MAIN |
| | LIGHT POLE | | WATER MAIN |
| | KERB INLET PIT | | TELSTRA /NBN |
| | STORMWATER PIT | | UNDER GROUND POWER |
| | ELECTRICITY PILLAR | | |
| | ELECTRICAL SUBSTATION | | |
| | STREET TREES | | |
- Anticipated Site Classification - H1 Class
(to be confirmed at completion of construction)

DISCLAIMER/ NOTES:

- Contours are based on finished design levels and are subject to construction and Council certification and therefore should not be considered as final or as-built.
- Location of utility services including but not limited to power, water, sewer, communications and gas are subject to construction and Supply Authority certification and therefore should not be considered as final or as-built.
- Survey information such as boundary dimensions and areas, easements etc are subject to Final Survey. Purchasers should refer to the Deposited Plan and 88B Instrument contained in the Contract for Sale of Land for further detailed information.
- Bushfire and Geotechnical classification are provided for convenience. Purchasers should refer to referenced detail specialist reports.
- This Preliminary Site Analysis Plan has been collated from various sources of design information and is provided for convenience to assist Purchasers in obtaining quotations/tenders for dwelling construction.
- This document does not form part of the Contract of Sale of the Land.

REVISIONS: HD27 STAGE 5 MARKETING r1

DATE: 23th October 2019

BY: HIGH DEFINITION DESIGN PTY LTD

RESTRICTIONS ON USE OF LAND AFFECT THE LOT